

CONDOMINIUM MAP OF MIRAMONTE RANCH CONDOMINIUMS

BEING LOTS 1 AND 2, MIRAMONTE FARMS, FILING NO. 4, RECORDED AT RECEPTION NO. 1614008,
IN THE OFFICE OF THE CLERK AND RECORDER IN THE COUNTY OF BOULDER,
BEING A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 26, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF BOULDER, STATE OF COLORADO
SHEET 1 OF 5

NOTES

- BEARINGS SHOWN HEREON ARE BASED ON THE WEST LINE OF THE SW 1/4 OF SECTION 26, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M. AS SHOWN ON "BROOMFIELD HIGHLANDS FILING NO. 1" RECORDED AT RECEPTION NO. 119246 IN THE OFFICE OF THE CLERK AND RECORDER OF BOULDER COUNTY, COLORADO, BEING N00°09'49"E BETWEEN FOUND MONUMENTS AS SHOWN ON SHEET 2 OF 5.
- BENCH MARK: FOUND 3" BRASS CAP ON TOP OF CONCRETE HEADWALL FOR IRRIGATION DITCH BOX CULVERT, APPROX. 250'± SOUTH OF MIRAMONTE BLVD. ON THE WEST SIDE OF KOHL STREET. ELEVATION = 5416.44' (LOCAL DATUM.)
- THIS SURVEY RELIES ON NORTH AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. CM 34123, DATED JULY 08, 1997. NO TITLE SEARCH WAS MADE BY ME TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD.
- ALL TAX INFORMATION, LIENS, IF ANY, LEASES, DEEDS OF TRUST, RELEASES, CLAIMS, ASSIGNMENTS, ASSUMPTIONS, TERMS, AGREEMENTS, PROVISIONS, CONDITIONS, RESERVATIONS, WATER RIGHTS AND OBLIGATIONS FOR THE PROPERTY SHOWN HEREON ARE REFLECTED IN SAID TITLE COMMITMENT.
- PREVIOUS SURVEYS REFERRED TO IN THE PREPARATION OF THIS CONDOMINIUM MAP ARE AS FOLLOWS:
 - BROOMFIELD HIGHLANDS FILING NO. 1, RECEPTION NO. 119246.
 - MIRAMONTE FARMS, FILING NO. 1, RECEPTION NO. 1184276.
 - MIRAMONTE FARMS, FILING NO. 4, RECEPTION NO. 1614008.
 ALL THE ABOVE BEING OFFICIAL RECORDS ON FILE IN BOULDER COUNTY, COLORADO.
- THE PROPERTY DESCRIPTION HEREON ESTABLISHES A PHASE LINE FOR THE CONSTRUCTION PROCESS ONLY AND IS NOT INTENDED TO BE A SUBDIVISION OF LOT 1, "MIRAMONTE FARMS, FILING NO. 4".
- DIMENSIONS FOR INTERNAL AIRSPACE CALCULATIONS WERE OBTAINED FROM THE ARCHITECTURAL PLANS ENTITLED "MIRAMONTE RANCH CONDOMINIUMS" PREPARED BY WAGNER ARCHITECTURAL TEAM, LTD., DATED SEPTEMBER 25, 1996.
- ALL INTERIOR MEASUREMENTS ARE TO THE FINISHED SURFACES OF FLOORS, CEILINGS AND WALLS.
- NOT ALL INTERIOR WALLS ARE SHOWN IN THE INDIVIDUAL UNITS.
- EXTERIOR BUILDING DIMENSIONS ARE TO THE OUTSIDE FINISHED WALL.
- ALL EXTERIOR WALLS AND WALLS BETWEEN UNITS ARE COMMON ELEMENTS. ALL INTERIOR WALLS WHICH ARE BEARING WALLS OR CONTAIN PLUMBING AND/OR ELECTRICAL WIRING SERVING MORE THAN ONE UNIT (UTILITY WALLS) ARE COMMON ELEMENTS.
- THE SPACE WITHIN THE FIREBOX OF A FIREPLACE IS A LIMITED COMMON ELEMENT. THE FIREBOX, THE FLUE AND THE FLUE CHASES ARE COMMON ELEMENTS.
- DISTANCES FROM ENVELOPE CORNERS TO PROPERTY LINES AND/OR PHASE LINES AS SHOWN HEREIN ARE PERPENDICULAR TO PROPERTY LINES AND/OR PHASE LINES. THE ENVELOPE DIMENSIONS ARE TO THE OUTSIDE OF FACE OF BUILDING.
- ABBREVIATIONS:
C.E. = COMMON ELEMENT A.E. = ACCESS EASEMENT
L.C.E. = LIMITED COMMON ELEMENT P.U.E. = PUBLIC UTILITY EASEMENT
E.U.A. = EXCLUSIVE USE AREAS
- GARAGES AND PARKING SPACES WHICH ARE ASSIGNED BY THE DECLARANT TO UNITS ARE EXCLUSIVE USE AREAS.
- PORCHES, BALCONIES, DECKS AND STAIRWAYS ON THE EXTERIOR OF THE RESIDENTIAL BUILDINGS ARE LIMITED COMMON ELEMENTS OR EXCLUSIVE USE AREAS.
- NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION, BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- THIS MAP WAS PREPARED PRIOR TO THE CONSTRUCTION OF ANY BUILDINGS.

LEGAL DESCRIPTION - OVERALL SITE

LOTS 1 AND 2, MIRAMONTE FARMS, FILING NO. 4, RECORDED AT RECEPTION NO. 1614008, IN THE OFFICE OF THE CLERK AND RECORDER IN THE COUNTY OF BOULDER, STATE OF COLORADO, BEING A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 26, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF BOULDER, STATE OF COLORADO CONTAINING 11.70 ACRES OF LAND MORE OR LESS.

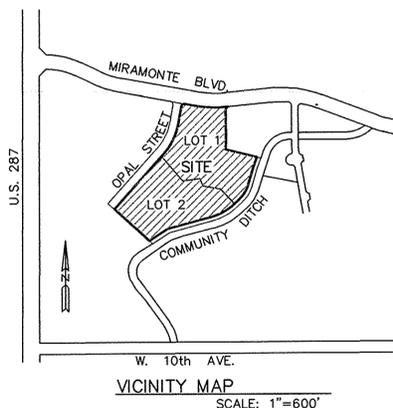
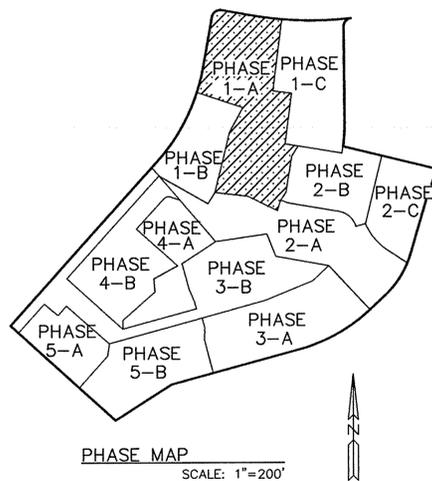
LEGAL DESCRIPTION - PHASE 1-A

BEING A PART OF LOT 1, "MIRAMONTE FARMS, FILING NO. 4," A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 1614008, IN THE OFFICE OF THE CLERK AND RECORDER IN THE COUNTY OF BOULDER, STATE OF COLORADO, ALSO BEING A PART OF THE SOUTHWEST ONE-QUARTER OF SECTION 26, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF BOULDER, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY-MOST CORNER OF SAID LOT 1, SAID POINT ALSO BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF OPAL STREET AS SHOWN ON SAID "MIRAMONTE FARMS, FILING NO. 4," THENCE ON A CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 20.00 FEET, AN ARC LENGTH OF 31.42 FEET, THE CHORD OF WHICH BEARS N55°16'17"E, A DISTANCE OF 28.28 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF MIRAMONTE BOULEVARD AS SHOWN ON THE SUBDIVISION PLAT "BROOMFIELD HIGHLANDS, FILING NO. 1," RECORDED AT RECEPTION NO. 119246, BOULDER COUNTY RECORDS; THENCE S79°43'43"E, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 65.88 FEET; THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY ON A CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 052°22'27", A RADIUS OF 850.00 FEET, AN ARC LENGTH OF 79.73 FEET, THE CHORD OF WHICH BEARS S82°24'57"E, A DISTANCE OF 79.70 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE S07°19'31"W, A DISTANCE OF 170.84 FEET; THENCE S82°40'29"E, A DISTANCE OF 44.61 FEET; THENCE S072°41'16"W, A DISTANCE OF 120.86 FEET; THENCE S80°52'30"E, A DISTANCE OF 30.76 FEET; THENCE S31°42'15"W, A DISTANCE OF 27.07 FEET; THENCE S09°26'48"W, A DISTANCE OF 86.26 FEET; THENCE S34°23'25"W, A DISTANCE OF 23.59 FEET; THENCE S16°34'42"W, A DISTANCE OF 25.13 FEET; THENCE N67°43'31"W, A DISTANCE OF 12.24 FEET; THENCE N64°32'09"W, A DISTANCE OF 66.32 FEET; THENCE N83°24'03"W, A DISTANCE OF 79.61 FEET; THENCE N14°09'00"E, A DISTANCE OF 100.25 FEET; THENCE N13°16'34"E, A DISTANCE OF 46.36 FEET; THENCE N28°52'57"E, A DISTANCE OF 67.18 FEET; THENCE N71°51'54"W, A DISTANCE OF 115.16 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF OPAL STREET AS SHOWN ON SAID "MIRAMONTE FARMS, FILING NO. 4," THENCE THE FOLLOWING TWO (2) COURSES ALONG SAID EASTERLY RIGHT-OF-WAY LINE:

- A CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 07°51'50", A RADIUS OF 454.00 FEET, AN ARC LENGTH OF 62.31 FEET, THE CHORD OF WHICH BEARS N14°12'11"E, A DISTANCE OF 62.26 FEET;
- N101°6'17"E, A DISTANCE OF 119.95 FEET TO THE POINT OF BEGINNING.

CONTAINING 1.62 ACRES OF LAND, MORE OR LESS.



SURVEYOR'S CERTIFICATE

I, GEOFFREY F. STEPHENSON, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS CONDOMINIUM MAP WAS MADE UNDER MY DIRECT SUPERVISION AND CHECKING AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND COMPLIES WITH SECTION 38-33-209, COLORADO REVISED STATUTES.

I FURTHER CERTIFY THAT THIS MAP ACCURATELY DEPICTS THE LAYOUT, MEASUREMENTS, THE CONDOMINIUM UNITS, THE DIMENSIONS OF SUCH CONDOMINIUM UNITS AND THE ELEVATIONS OF THE FINISHED SURFACES. THE ARCHITECTURAL PLANS ENTITLED "MIRAMONTE RANCH CONDOMINIUMS" PREPARED BY WAGNER ARCHITECTURAL TEAM, LTD., DATED SEPTEMBER 25, 1996. NONE OF THE BUILDINGS OR IMPROVEMENTS WERE CONSTRUCTED AT THE TIME THESE MAPS WERE PREPARED.

GEOFFREY F. STEPHENSON, PLS
COLORADO PROFESSIONAL LAND SURVEYOR NO. 23521
FOR THE LUND PARTNERSHIP, INC.

OWNERSHIP CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS THAT MIRAMONTE RANCH CONDOMINIUMS, L.L.P., A COLORADO REGISTERED LIMITED LIABILITY LIMITED PARTNERSHIP, BEING THE SOLE OWNER OF THE HERON DESCRIBED REAL PROPERTY, HAS CAUSED THE SAME TO BE SURVEYED AS SHOWN ON THE ACCOMPANYING MAP TO BE KNOWN AS MIRAMONTE RANCH CONDOMINIUMS, A CONDOMINIUM MAP BEING A PORTION OF LOTS 1 AND 2, MIRAMONTE FARMS FILING NO. 4, PURSUANT TO THE PURPOSES STATED IN THE CONDOMINIUM DECLARATION RECORDED ON 8/1/97, AT RECEPTION NO. 1728978, BOULDER COUNTY, COLORADO.

SIGNED THIS 1st DAY OF August 1997, FOR MIRAMONTE RANCH CONDOMINIUMS, L.L.P., A COLORADO REGISTERED LIMITED LIABILITY LIMITED PARTNERSHIP BY: RFG MANAGEMENT, INC., A COLORADO CORPORATION, A GENERAL PARTNER
BY: Robert A. Russell, PRESIDENT BY: Sandra A. Smilanic, SECRETARY
BY: Miramonte Ranch, LLC, A NEVADA LIMITED LIABILITY COMPANY, A GENERAL PARTNER
BY: Brett Torino, MANAGER

NOTARY

STATE OF Colorado }
COUNTY OF Arapahoe }
THE FOREGOING ACKNOWLEDGED BEFORE ME THIS 1st DAY OF August 1997, BY ROBERT A. RUSSELL, PRESIDENT AND BY SANDRA A. SMILANIC, SECRETARY, OF RFG MANAGEMENT, INC., A GENERAL PARTNER, FOR MIRAMONTE RANCH CONDOMINIUMS, L.L.P., A COLORADO REGISTERED LIMITED LIABILITY LIMITED PARTNERSHIP.
WITNESS MY HAND AND OFFICIAL SEAL
NOTARY PUBLIC

MY COMMISSION EXPIRES: 4-30-98
5299 DTC Blvd #940
Englewood, CO 80111

NOTARY
STATE OF Nevada }
COUNTY OF Clark }
THE FOREGOING ACKNOWLEDGED BEFORE ME THIS 7th DAY OF August 1997, BY BRETT TORINO, MANAGER OF MIRAMONTE, LCC, A NEVADA LIMITED LIABILITY COMPANY, A GENERAL PARTNER, FOR MIRAMONTE RANCH CONDOMINIUMS, L.L.P., A COLORADO REGISTERED LIMITED LIABILITY LIMITED PARTNERSHIP.
WITNESS MY HAND AND OFFICIAL SEAL
NOTARY PUBLIC

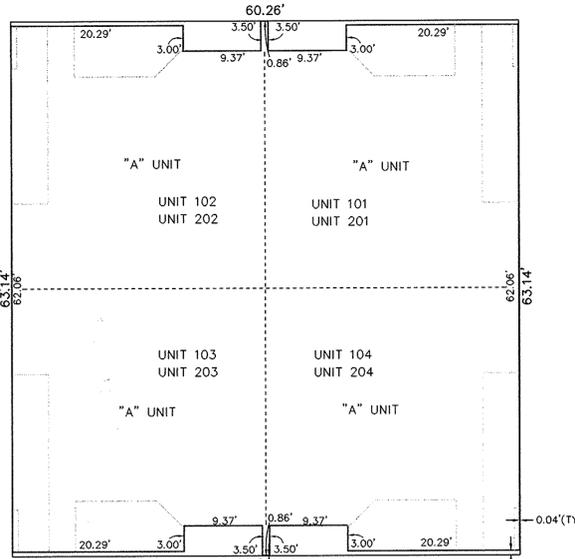
MY COMMISSION EXPIRES: 9-6-99
4820 Alpenglen St
Las Vegas, NV

CLERK AND RECORDER'S CERTIFICATE
STATE OF COLORADO }
COUNTY OF BOULDER }

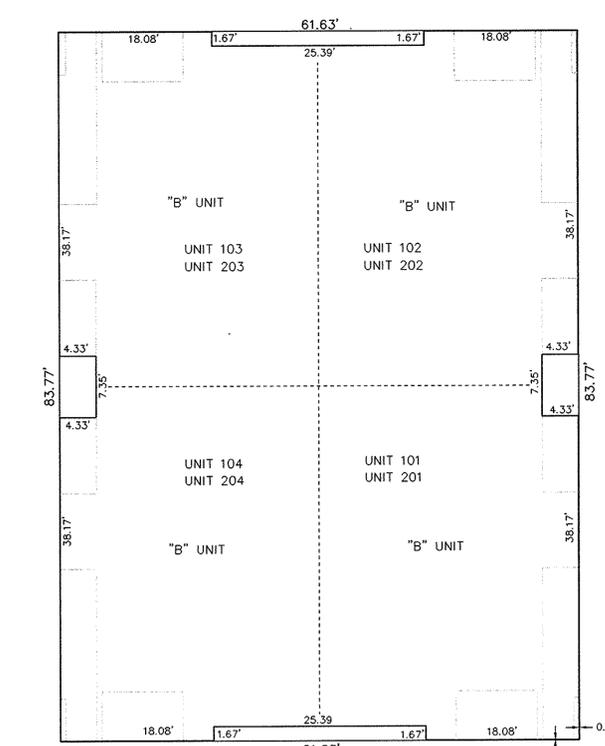
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE AT 1:08 P.M. O'CLOCK THIS 8th DAY OF Sept. A.D., 1997, AND IS DULY RECORDED IN PLATE P-41 F-2 #10, 11, 12, 13 & 14. RECEPTION NO. 1728980. FEE \$51.00 PAID.

Charlotte Houston
CLERK AND RECORDER
Deputy

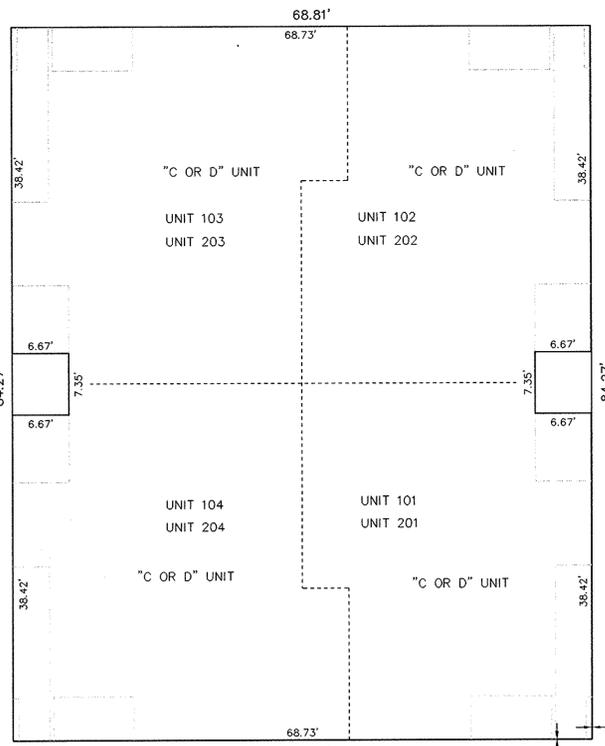
THE LUND PARTNERSHIP, INC.
12265 W. BAYAUD AVE. SUITE 130
LAKEWOOD, COLORADO 80228
303 989-1461
JOB NO. 244-0105 DATE: 07/18/1997



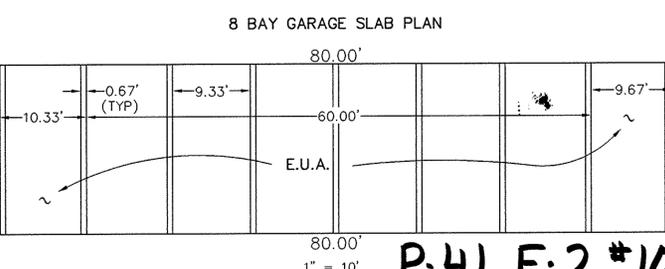
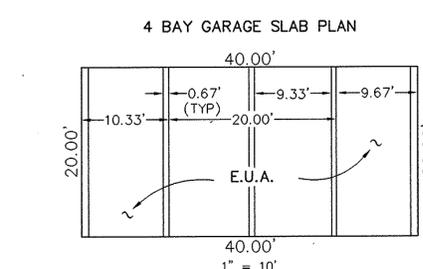
TYPE 1 BUILDING
SLAB DIMENSIONS AND TIES TO ENVELOPE
(THE ENVELOPE IS THE INTERSECTION OF THE OUTER MOST OUTSIDE FACE OF WALL)
1" = 10'



TYPE 2 BUILDING
SLAB DIMENSIONS AND TIES TO ENVELOPE
(THE ENVELOPE IS THE INTERSECTION OF THE OUTER MOST OUTSIDE FACE OF WALL)
1" = 10'



TYPE 3 BUILDING
SLAB DIMENSIONS AND TIES TO ENVELOPE
(THE ENVELOPE IS THE INTERSECTION OF THE OUTER MOST OUTSIDE FACE OF WALL)
1" = 10'



LIENHOLDER'S ACKNOWLEDGMENT

FOR KEY BANK OF COLORADO
BY: *Bruce Smith V.P.*
ATTEST: *Heidi C. Adams*

NOTARY
STATE OF COLORADO }
COUNTY OF Denver }
THE FOREGOING ACKNOWLEDGED BEFORE ME THIS 1st DAY OF August 1997, BY Bruce Smith, AND BY Heidi Adams, KEY BANK OF COLORADO.
WITNESS MY HAND AND OFFICIAL SEAL
NOTARY PUBLIC
MY COMMISSION EXPIRES: 2/3/2001
3300 S. Yosemite Denver, Colo 80237



1728980
68/98/1587 81 888
8-31-98 D.B.86
Boulder County Clerk - CO PLAT

P.41 F.2 #10 (Pg 1 of 5)

CONDOMINIUM MAP OF MIRAMONTE RANCH CONDOMINIUMS

BEING LOTS 1 AND 2, MIRAMONTE FARMS, FILING NO. 4, RECORDED AT RECEPTION NO. 1614008,
IN THE OFFICE OF THE CLERK AND RECORDER IN THE COUNTY OF BOULDER,
BEING A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 26, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF BOULDER, STATE OF COLORADO

SHEET 3 OF 5

SW 1/4
SECTION 26

MIRAMONTE BOULEVARD

LEGEND

- 1. • DENOTES FOUND NO.5 REBAR WITH PLASTIC CAP STAMPED "LPI PLS 23521" UNLESS OTHERWISE NOTED.
- 2. (NR) DENOTES NON-RADIAL BEARING.
-  BUILDING TYPE
-  BUILDING NUMBER
-  PHASE NUMBER

DIMENSIONS ARE TO THE BUILDING ENVELOPE

UNPLATTED

OPAL STREET

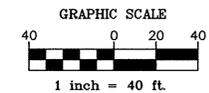
MIRAMONTE FARMS, FILING NO. 1
TRACT D
REC. NO. 1184276
BOULDER COUNTY RECORDS
RECORDED 05/12/92

BROOMFIELD HIGHLANDS FILING NO. 1
REC. NO. 1119246
BOULDER COUNTY RECORDS
RECORDED 07/26/91

BUILDING ADDRESSES AND ELEVATIONS

BLDG. NO.	BLDG. TYPE	FIRST LEVEL FINISH FLOOR	SECOND LEVEL FINISH FLOOR	ADDRESS
1	3	5422.03	5432.03	1170 OPAL STREET
2	2	5426.33	5436.33	1180 OPAL STREET
3	1	5429.03	5439.03	1190 OPAL STREET
4	2	5425.33	5435.33	1196 OPAL STREET
5	2	5421.33	5431.33	1186 OPAL STREET
6	3	5418.33	5428.33	1176 OPAL STREET
7	3	5417.13	5427.13	1178 OPAL STREET
8	2	5416.03	5426.03	1168 OPAL STREET
9	1	5418.83	5428.83	1166 OPAL STREET
10	2	5420.93	5430.93	1150 OPAL STREET
11	2	5416.83	5426.83	1158 OPAL STREET
12	3	5419.93	5429.93	1156 OPAL STREET
13	3	5417.33	5427.33	1148 OPAL STREET
14	2	5418.33	5428.33	1138 OPAL STREET
15	3	5420.93	5430.93	1146 OPAL STREET
16	1	5421.93	5431.93	1136 OPAL STREET
17	2	5422.53	5432.53	1140 OPAL STREET
18	2	5423.53	5433.53	1130 OPAL STREET
19	3	5424.53	5434.53	1120 OPAL STREET
20	3	5419.33	5429.33	1128 OPAL STREET
21	3	5420.03	5430.03	1118 OPAL STREET
22	3	5424.03	5434.03	1116 OPAL STREET
23	2	5427.03	5437.03	1110 OPAL STREET
CLUBHOUSE		5427.03	5437.03	1160 OPAL STREET

MATCH LINE - SEE SHEET 4 OF 5



THE LUND PARTNERSHIP, INC.

12265 W. BAYAUD AVE. SUITE 130
LAKEWOOD, COLORADO 80228
303 989-1461

JOB NO. 244-0105 DATE: 07/18/1997

P-41 F.2 #12 (Pg 3 of 5)

CONDOMINIUM MAP OF MIRAMONTE RANCH CONDOMINIUMS

BEING LOTS 1 AND 2, MIRAMONTE FARMS, FILING NO. 4, RECORDED AT RECEPTION NO. 1614008,
IN THE OFFICE OF THE CLERK AND RECORDER IN THE COUNTY OF BOULDER,
BEING A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 26, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF BOULDER, STATE OF COLORADO
SHEET 4 OF 5

SW 1/4
SECTION 26

MATCH LINE - SEE SHEET 3 OF 5

LEGEND

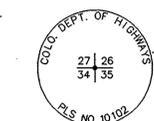
1. ● DENOTES FOUND NO.5 REBAR WITH PLASTIC CAP STAMPED "LPI PLS 23521" UNLESS OTHERWISE NOTED.
2. ◆ DENOTES FOUND LAND CORNER (AS SHOWN).
3. (AM) DENOTES DISTANCES MEASURED BETWEEN FOUND LAND CORNERS BY THE LUND PARTNERSHIP, INC., ON 03/05/1996.
4. (R) DENOTES DISTANCES AND BEARINGS AS SHOWN BETWEEN LAND CORNERS ON "BROOMFIELD HIGHLANDS FILING NO. 1" (RECEPTION NO. 1119246).
5. (NR) DENOTES NON-RADIAL BEARING.

2
11
BUILDING TYPE
BUILDING NUMBER

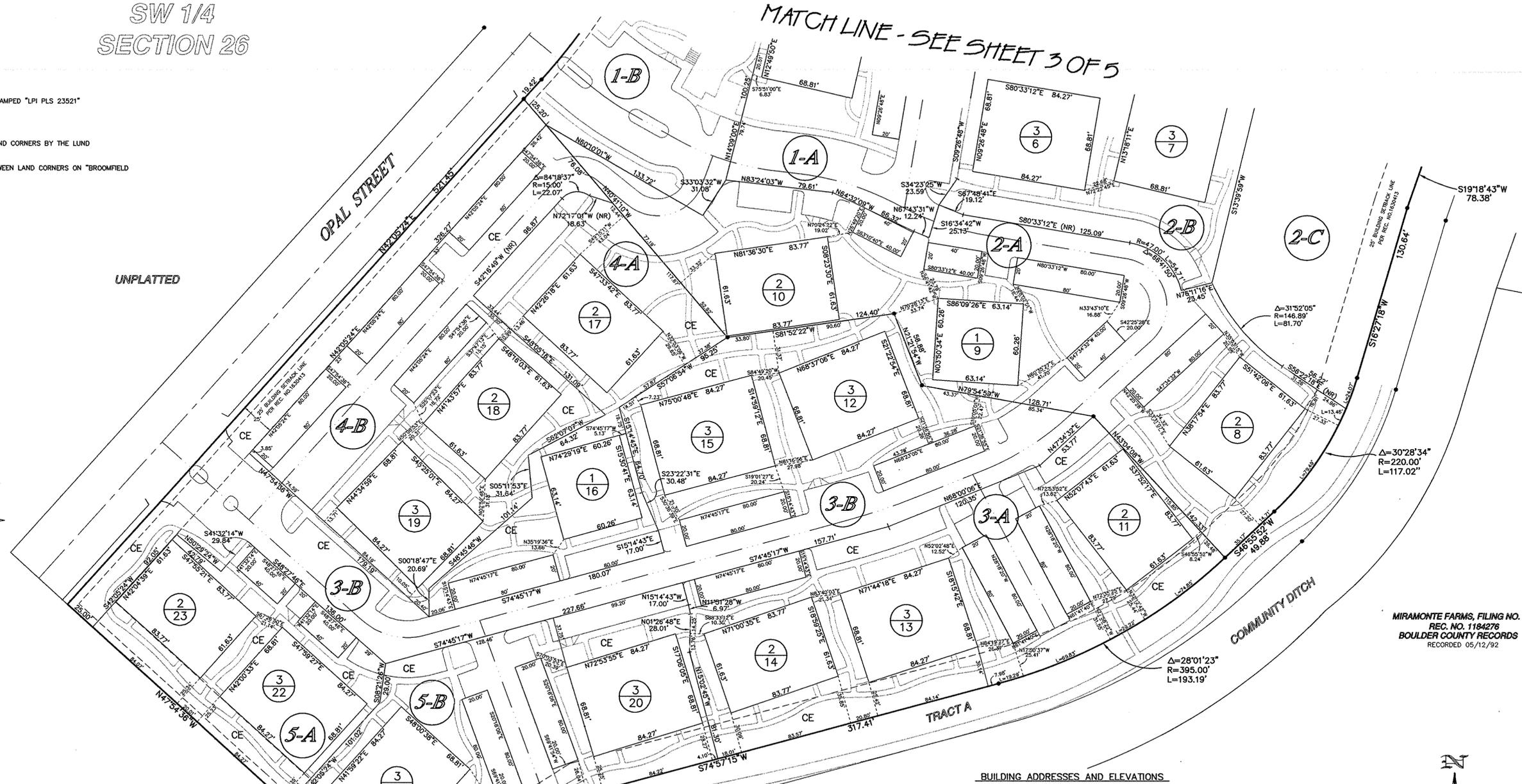
2
PHASE NUMBER

DIMENSIONS ARE TO THE BUILDING ENVELOPE

WEST 1/4 CORNER
SEC. 26 T.1S., R.69W.
FND. 3 1/4" ALUM. CAP IN RANGE
BOX, 0.6' BELOW CONC. SURFACE
STAMPED AS SHOWN.



SOUTHWEST CORNER
SEC. 26 T.1S., R.69W.
FND. 3 1/4" ALUM. CAP
IN RANGE BOX
STAMPED AS SHOWN.

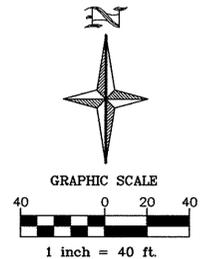


MIRAMONTE FARMS, FILING NO. 1
REC. NO. 1184276
BOULDER COUNTY RECORDS
RECORDED 05/12/92

BROOMFIELD HIGHLANDS FILING NO. 1
REC. NO. 1119246
BOULDER COUNTY RECORDS
RECORDED 07/26/91

BUILDING ADDRESSES AND ELEVATIONS

BLDG. NO.	BLDG. TYPE	FIRST LEVEL FINISH FLOOR	SECOND LEVEL FINISH FLOOR	ADDRESS
1	3	5422.03	5432.03	1170 OPAL STREET
2	2	5426.33	5436.33	1180 OPAL STREET
3	1	5429.03	5439.03	1190 OPAL STREET
4	2	5425.33	5435.33	1196 OPAL STREET
5	2	5421.33	5431.33	1186 OPAL STREET
6	3	5418.33	5428.33	1178 OPAL STREET
7	3	5417.13	5427.13	1178 OPAL STREET
8	2	5416.03	5426.03	1168 OPAL STREET
9	1	5418.83	5428.83	1166 OPAL STREET
10	2	5420.93	5430.93	1150 OPAL STREET
11	2	5416.83	5426.83	1158 OPAL STREET
12	3	5419.93	5429.93	1156 OPAL STREET
13	3	5417.33	5427.33	1148 OPAL STREET
14	2	5418.33	5428.33	1138 OPAL STREET
15	3	5420.93	5430.93	1146 OPAL STREET
16	1	5421.93	5431.93	1136 OPAL STREET
17	2	5422.53	5432.53	1140 OPAL STREET
18	2	5423.53	5433.53	1130 OPAL STREET
19	3	5424.53	5434.53	1120 OPAL STREET
20	3	5419.33	5429.33	1128 OPAL STREET
21	3	5420.03	5430.03	1118 OPAL STREET
22	3	5424.03	5434.03	1116 OPAL STREET
23	2	5427.03	5437.03	1110 OPAL STREET
CLUBHOUSE		5427.03	5437.03	1160 OPAL STREET



THE LUND PARTNERSHIP, INC.

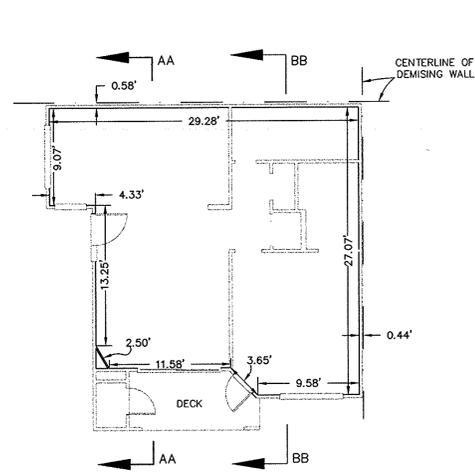
12265 W. BAYAUD AVE. SUITE 130
LAKEWOOD, COLORADO 80228
303 989-1461

JOB NO. 244-0105 DATE: 07/18/1997

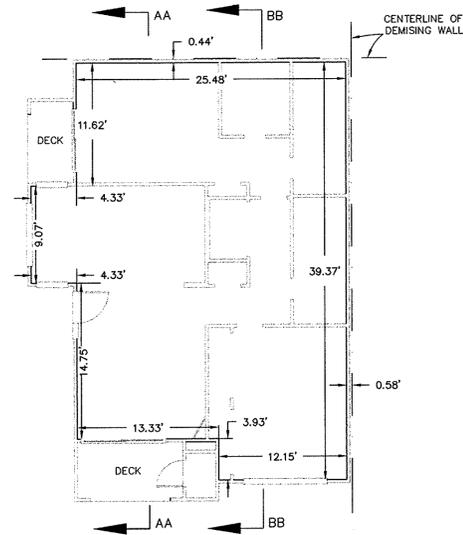
P-41 F-2 #13 (Pg 4 of 5)

CONDOMINIUM MAP OF MIRAMONTE RANCH CONDOMINIUMS

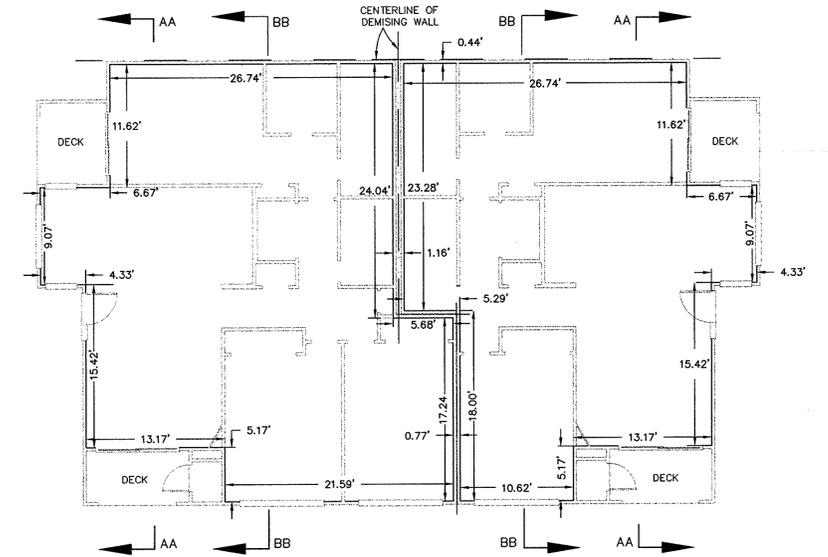
BEING LOTS 1 AND 2, MIRAMONTE FARMS, FILING NO. 4, RECORDED AT RECEPTION NO. 1614008,
IN THE OFFICE OF THE CLERK AND RECORDER IN THE COUNTY OF BOULDER,
BEING A PORTION OF THE SOUTHWEST ONE-QUARTER OF SECTION 26, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF BOULDER, STATE OF COLORADO
SHEET 5 OF 5



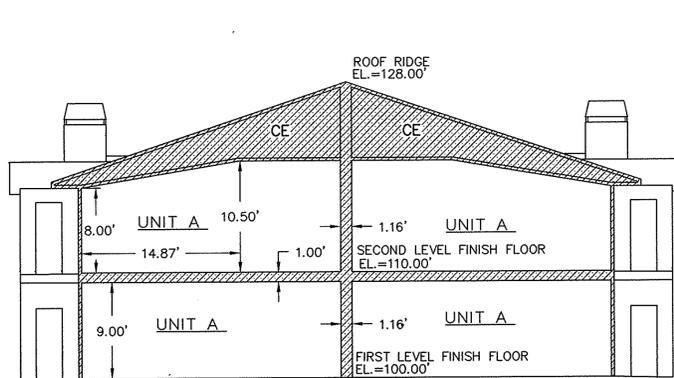
1" = 8'
FLOOR PLAN - TYPICAL "A" UNIT



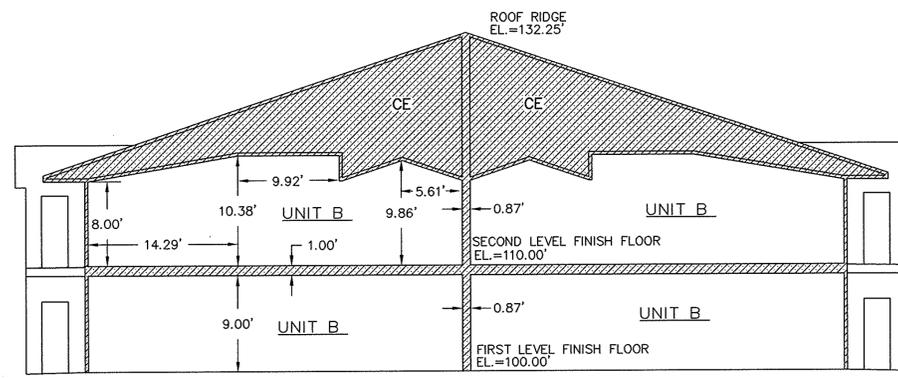
1" = 8'
FLOOR PLAN - TYPICAL "B" UNIT



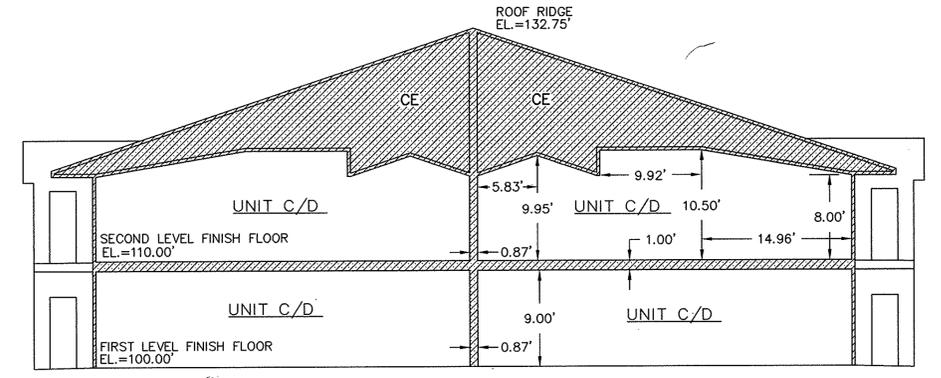
1" = 8' 1" = 8'
FLOOR PLAN - TYPICAL "D" UNIT FLOOR PLAN - TYPICAL "C" UNIT



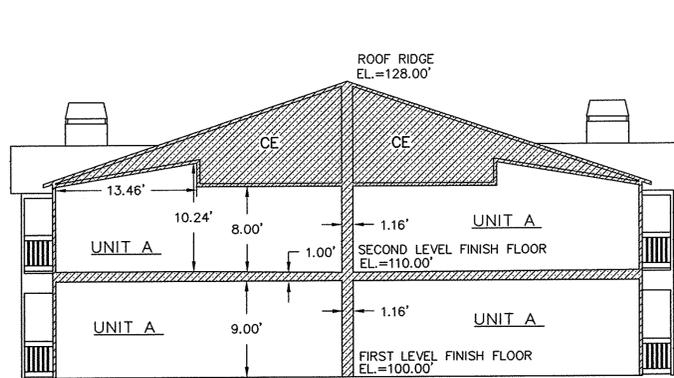
1" = 8'
BUILDING TYPE 1 (UNIT A) - CROSS SECTION AA



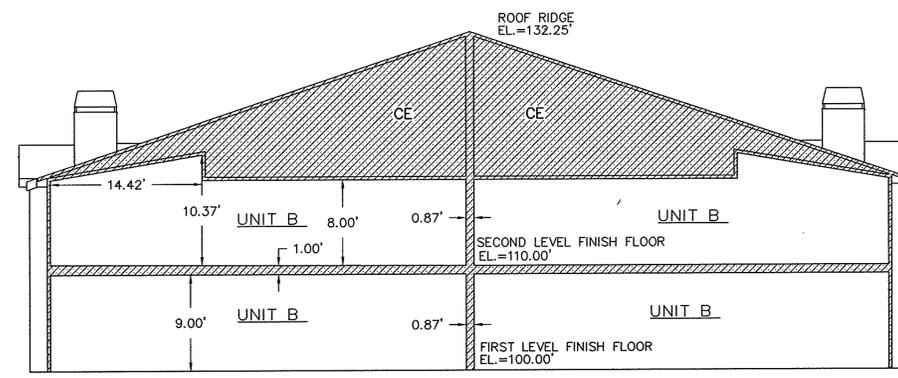
1" = 8'
BUILDING TYPE 2 (UNIT B) - CROSS SECTION AA



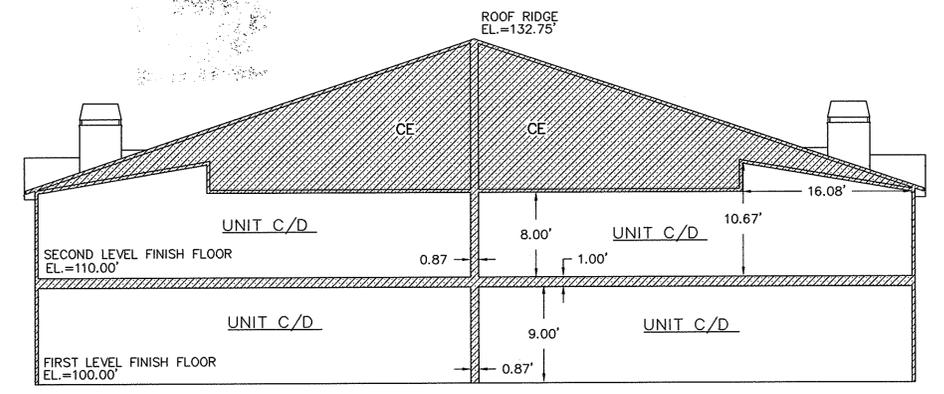
1" = 8'
BUILDING TYPE 3 (UNITS C/D) - CROSS SECTION AA



1" = 8'
BUILDING TYPE 1 (UNIT A) - CROSS SECTION BB



1" = 8'
BUILDING TYPE 2 - CROSS SECTION BB



1" = 8'
BUILDING TYPE 3 (UNITS C/D) - CROSS SECTION BB



COMMON ELEMENT

GRAPHIC SCALE



(IN FEET)
1 inch = 8 ft.

THE
LUND PARTNERSHIP, INC.

12265 W. BAYAUD AVE. SUITE 130
LAKEWOOD, COLORADO 80228
303 989-1461
JOB NO. 244-0105

DATE: 07/18/1997

P-41 F-2 #14 (Pg 5 of 5)