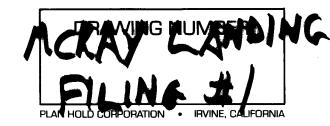
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA

BEOBDER BY NUMBER 075AR





PLAN HOLD CORPORATION • IRVINE, CALIFORNIA

REORDER BY NUMBER 075AR

DRAWING NUMBER

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
REORDER BY NUMBER 075AR

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File 18 MAP 366

MINOR SUBDIVISION PLAT MCKAY LANDING FILING NO. 1, REPLAT D A RESUBDIVISION OF TRACT 1 & TRACT 2, MCKAY LANDING FILING NO. 1

Located in a portion of the East one-Half of Section 20, township 1 south, range 68 west of the Sixth Principal Meridian city of Broomfield, county of Adams, state of colorado

LEGAL DESCRIPTION

TRACT 1, MCKAY LANDING FILING NO. 1, TOGETHER WITH TRACT 2, MCKAY LANDING FILING NO. 1.

CONTAINING 38,148 SQUARE FEET, OR 0.88 ACRES, MORE OR LESS.

OWNER

MCKAY LANDING LLC
BY JAMES CONSTRUCTION CO., INC., MANAGER
2919 VALMONT ROAD,—SUITE 204

BY JAMES G. POSTLE, PRESIDENT DATE

SS

STATE OF COLORADO

SALLIES AT ADALIA

COUNTY OF ADAMS)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 30 DAY OF ALCUCATION CO., INC., MANAGER OF MCKAY LANDING LLC.

.

WITNESS MY HAND AND OF

MY COMMISSION EXPIRES: 125-04

ATTORNEY'S CERTIFICATE

I, <u>CATHERING A. MANCG</u>, AN ATTORNEY AT LAW LICENSED TO PRACTICE IN THE STATE OF COLORAD CERTIFY THAT THE OWNER AND SUBDIVIDER DEDICATING ANY STREET, EASEMENT, ALLEY, TRACT, PUBLIC WAY OR RIGHT-OF-WAY HEREON OWNS THEM IN FEE SIMPLE, FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES.

att CA

12/4/00

18 17 16 144TH AVENUE 19 20 MCKAY LAKE 21 19 136TH AVENUE 1 36 TH AVENUE 1 28 TH AVENUE 1 128TH AVENUE

GENERAL NOTES

1. NO PORTION OF EITHER SITE, MCKAY LANDING FILING NO. 1, REPLAT D, ARE LOCATED WITHIN THE QUAIL CREEK OR MCKAY LAKE FLOOD PLAIN AS DEFINED BY THE FEMA FLOOD INSURANCE RATE MAP PANEL NUMBER 08001C0010G, DATED AUGUST 16, 1995.

VICINITY MAP

- 2. BASIS OF BEARINGS: THE EAST LINE OF THE NE 1/4 OF SECTION 20, T1S, R68W, OF THE 6TH P.M., MONUMENTED AT THE EAST 1/4 CORNER OF SAID SECTION BY A 1-1/2" ILLEGIBLE ALUMINUM CAP, AND AT THE NE CORNER BY AN AXEL IN RANGE BOX WITH 2" ALUMINUM CAP ATTACHED STAMPED T1S R68W 17/16/21/S20 1994 LS 23904. SAID LINE KNOWN TO BEAR N 00'00'56" E PER THE ADAMS COUNTY GIS CONTROL NETWORK.
- 3. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- 4. THIS PLAT IS TIED TO THE CITY OF BROOMFIELD CONTROL NETWORK AS SHOWN HEREON, SAID CONTROL NETWORK CONFORMS TO THE COLORADO COORDINATE SYSTEM AS STATED BELOW.

 THE COLORADO COORDINATE SYSTEM HEREON SHOWN IS DEFINED AS ORDER C 2-1, 1:50,000 AS DESCRIBED IN THE "GEOMETRIC GEODETIC ACCURACY STANDARDS AND SPECIFICATIONS FOR USING GPS RELATIVE POSITIONING
- 5. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED ON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREIN.

TECHNIQUES" BY THE FEDERAL GEODETIC CONTROL COMMITTEE.

ACCORDING TO C.R.S. 38-51-105 THE OWNER/SUBDIVIDER IS RESPONSIBLE FOR ALL INTERNAL MONUMENTATION OF LOTS, BLOCKS, AND CENTERLINES AS SPECIFIED BY COLORADO LAW AND CITY REGULATIONS.

INDEX OF SHEETS

COVER SHEET

SHEET 1

PLAT EXHIBIT

SHEET 2

SURVEYOR'S CERTIFICATE:

I, JAMES T. JONES, A REGISTERED LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE LAST POLICIANS, PIPELINES, IRRIGATION DITCHES OR OTHER EASEMENTS IN EVIDENCE OR CONTINUE SURVEY EXIST ON OR ACROSS THE HEREIN BEFORE DESCRIBED PROPERTY ENCEPT AND THIS PLAT. I FURTHER CERTIFY THAT I HAVE MADE THE SURVEY BY THIS PLAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONGBENTS EXIST AS SHOWN HEREON.

COLORADO NO. 19606
POR AND ON BEHALF OF JR ENGINEERING LO.

APPROVALS

THIS MINOR SUBDIVISION PLAT IS APPROVED AND ACCEPTED BY THE CITY OF BROOMFIELD, COLORADO, THIS TADAY OF TALLIAR TO

PEANING DIRECTOR FRANKLIN

CITY EARNEER

CERTIFICATE OF CLERK AND RECORDER

BY: Ruby DIRMA

FILE MAP RECEPTION

CANAL A SANGER
CLERK AND RECORDER

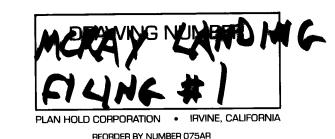
MINOR SUBDIVISION REPLAMCKAY LANDING FILING NO JOB NO. 4247.00 DATE: NOVEMBER 30, 2000 SHEET 1 OF 2

JR

Engineering, Ltd.

6020 Greenwood Plaza Blvd. Englewood, Colorado 80111 Tel. (303) 740-9393 FAX (303) 721-9019

ENGINEERING/PLANNING/SURVEYING



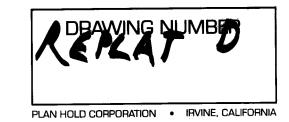
1222506.790 -

STATE PLANE E

3128139.078

LON-105'02'34.7624"

LAT-39*56'35.7222"



STATE PLANE N 1224119.86089

STATE PLANE E 3134698.52365

LON-105'01'10.4320"

LAT-39*56'51.3208"

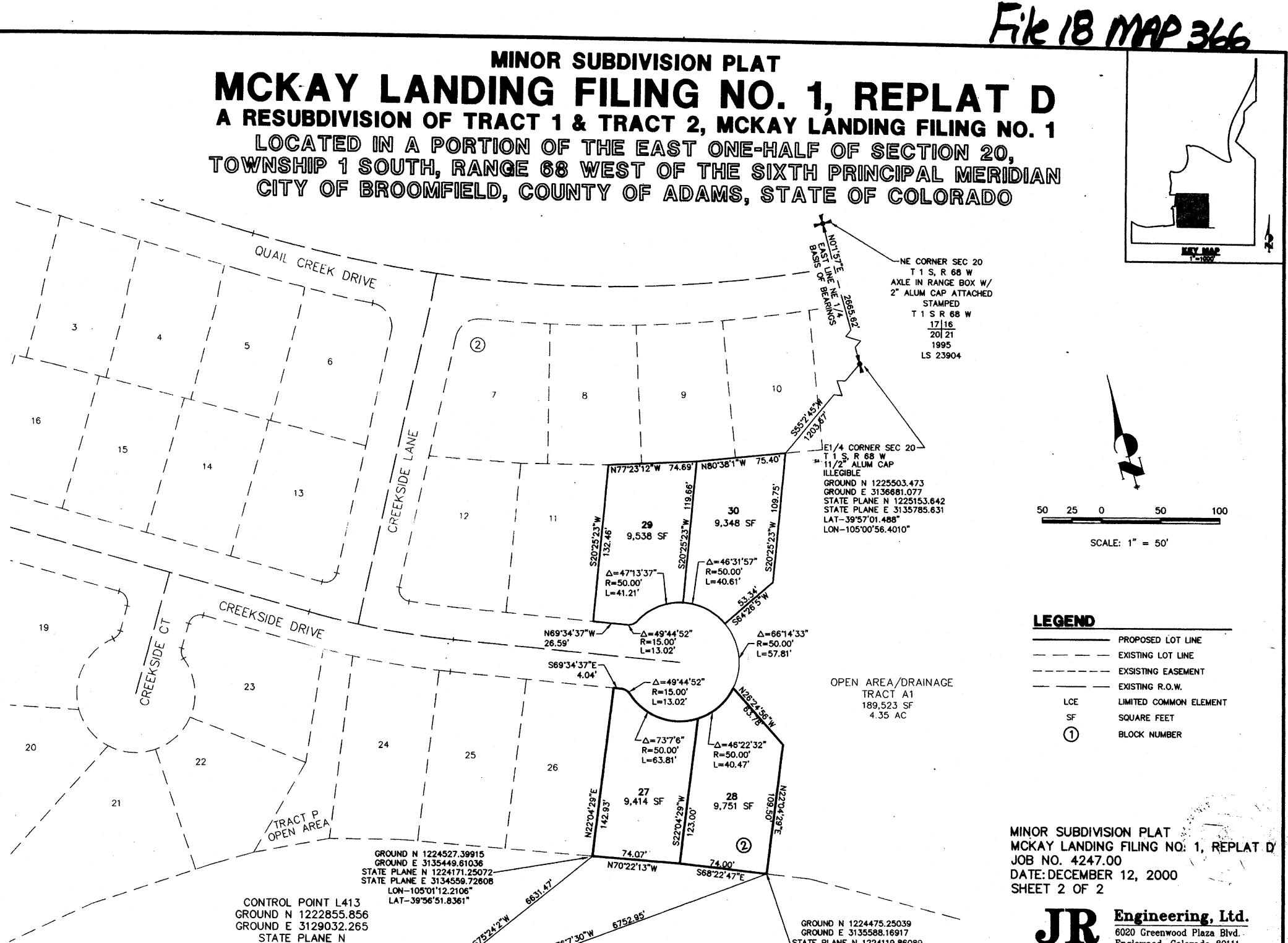


Englewood, Colorado 80111

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FAX (303) 721-9019

ENGINEERING/PLANNING/SURVEYING



TRACT B

OPEN AREA

647,336 SF

14.86 AC