

OPEN SPACE, PARKS,
RECREATION, AND TRAILS

Plan

2024



.....
CITY AND COUNTY OF BROOMFIELD

FEBRUARY 2024

RFP #19-039

Land Acknowledgement



We acknowledge that the land upon which we reside is the ancestral home of the Arapaho, Cheyenne, and Ute peoples. We further recognize that their connection to this place, both today and for countless generations, stewards the natural and cultural resources that we value so deeply. By acknowledging this connection, we strive to learn from, honor and respect these indigenous ties in our Open Space landscapes.

- Created and Adopted by the Open Space and Trails Advisory Committee with guidance from Arapaho, Cheyenne, and Ute Tribal Leaders.

Soil Exchange Ceremony Celebration with Cheyenne and Arapaho Tribal Leaders, Broomfield Elected Officials, Confluence members, and other Community members.

Other Acknowledgements

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The OSPRT Plan is dedicated to the Broomfield residents who worked hard to establish the Open Space and Parks Sales and Use Tax and the many residents that took their time to engage in this planning process.

We offer a heartfelt thanks.

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Executive Summary

INTRODUCTION

The Open Space, Parks, Recreation and Trails (OSPRT) Plan is a 20-year policy document intended to serve as a road map for Broomfield staff, elected officials, advisory committees, and the community to guide decisions about Open Space, Parks, recreation, and trails. The goal of the OSPRT Plan is to ensure that Broomfield's vision of the community is carried forward into the future and to promote a strong sense of unity, pride, and identity. It includes an analysis of Broomfield's current and future needs for Open Space, Parks, recreation, and trail facilities. The plan also outlines specific implementation strategies that will assist in achieving the community's goals to acquire additional Open Lands and trails, preserve natural resources, and enhance existing spaces and facilities.

Citizens may also look to the OSPRT Plan for guidance regarding the goals and commitments aimed at ensuring a sustainable future for Broomfield. The Plan is meant to be reviewed and amended to remain current with changing conditions within and outside Broomfield and is intended to be flexible as Broomfield continues to change and develop over the next 20 years.

BROOMFIELD'S ROAD MAP

AS A ROAD MAP, THE OSPRT PLAN PROVIDES:

- Goals and Objectives which are intended to provide measurable indicators of progress in realizing the vision of the OSPRT Plan.
- Inventory of Broomfield's existing OSPRT resources and analysis of current and future needs for Open Space, Parks, recreation facilities and trails, derived from community trends in utilization, results of a community needs assessment survey, and analysis of comparable communities.
- Land acquisition criteria to assist Broomfield officials in identifying opportunities for suitable Open Space and Park sites for acquisition or protection.
- A physical plan identifying potential Open Space, Parks, and trails improvements to be completed as the community grows.
- Design standards for Parks and trails that identify the types of amenities to be included in these facilities to balance quality, long-term maintenance and environmental sustainability.
- Guidelines for management and maintenance of community Open Space, Parks, recreation facilities, and trails.
- Specific implementation strategies for achieving the goals outlined in the Plan.

THE PLANNING PROCESS

COMMUNITY OUTREACH

Community outreach was a part of the planning process from start to finish. Public engagement included 819 survey responses, 6 focus group meetings, 18 pop up events and other outreach efforts that were analyzed and summarized and utilized as a central guide in the planning process.

PLAN DEVELOPMENT

The Plan Development occurred concurrently with the Inventory and Analysis stage of the project. Draft plan content and documents were prepared and reviewed with Broomfield Staff, Council, Joint Advisory Committee Members, and others throughout the planning process. This ensured that all elements of the OSPRT Plan were as complete and comprehensive as possible.

VISION AND GOALS

The Community Vision, Goals, Principles, and performance measures were refined based on the 2005 OSPRT Plan, 2016 Comprehensive Plan, Community Input Summary, and other information. A Mission Statement was also created as a part of the OSPRT Plan process.

PLAN ADOPTION

After adoption by City Council this will serve as a policy document to help guide the vision of Broomfield's OSPRT over the next 20 years.

INVENTORY AND ANALYSIS

A multitude of existing plans, documents, and data were reviewed and analyzed as a part of the planning process. Community demographics, growth projections, natural resources, existing conditions and facilities, Park locations, various design standards and guidelines, polices, current code standards, budget, and other elements were included as a part of the inventory and analysis stage and ultimately, the needs assessment. Recommendations were developed based on the needs assessment with action items to implement them.

COMMUNITY ADVISORY COMMITTEES

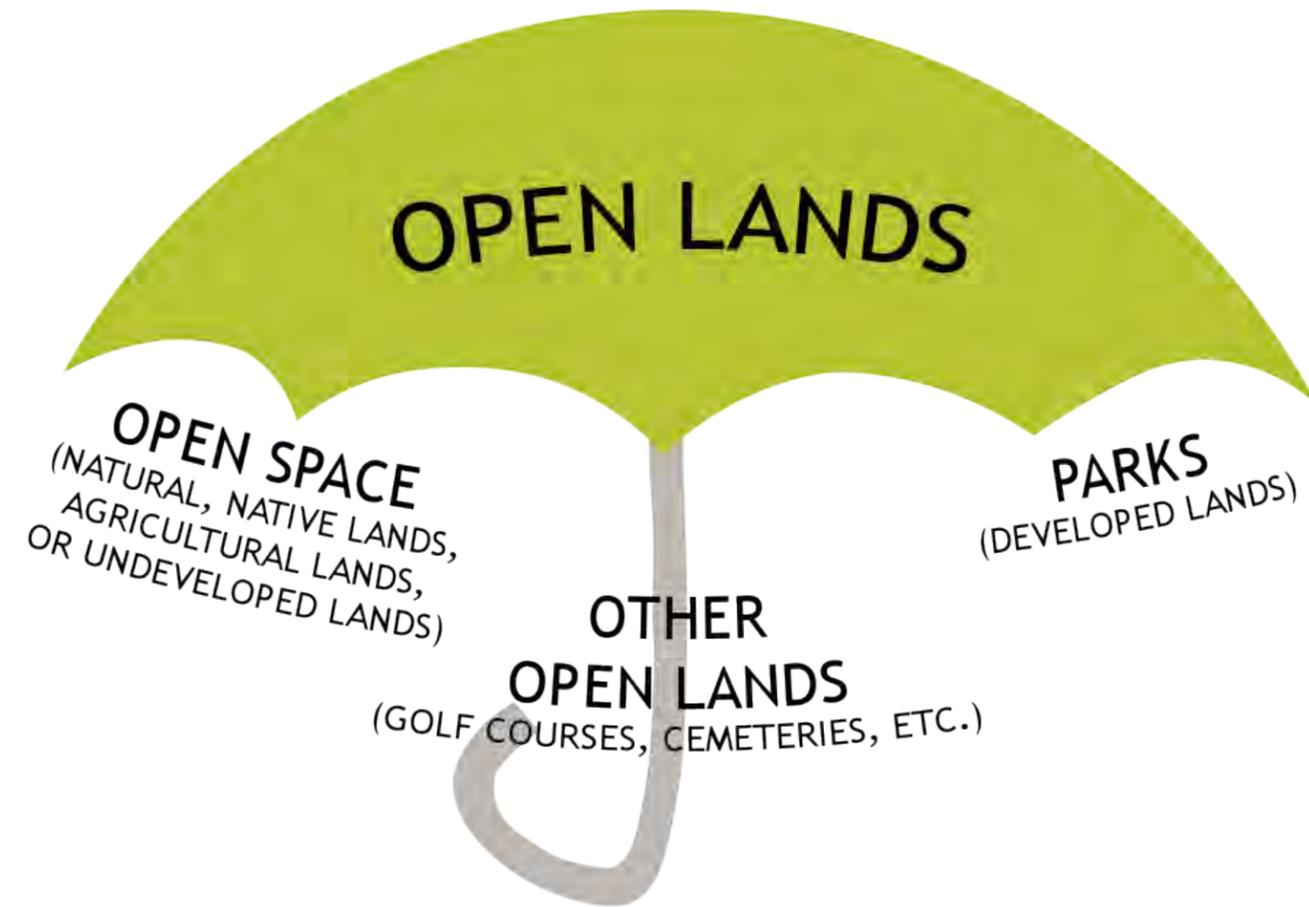
The OSPRT Plan is the result of sustained effort over a 2-year period that included the Open Space and Trails Advisory Committee (OSTAC), the Parks, Recreation and Senior Services Advisory Committee (PRSSAC), public engagement survey results and comments, City Council comments, and research and analysis by City staff and consultants.

Both OSTAC and PRSSAC continuously reviewed the recommendations for the OSPRT Plan while the plan was being developed. The review included topics relating to the survey, community outreach efforts, mission statement, goals, Open Lands objectives, Park standards, trail standards and missing links, land acquisition, and other elements.

OPEN LANDS DEFINED

Open Lands are defined as public and private lands acquired or preserved in the public interest for Parks and Open Space uses. They serve a variety of functions, including conserving and protecting natural, cultural, historic, agricultural, and scenic resources; providing opportunities for recreation; and shaping the pattern of growth and development.

“Open Lands” is an umbrella concept that encompasses three key designations: Parks and Recreation Areas, Open Space, and Other Open Lands.



Parks and Recreation Areas

Parks and Recreation areas are the most intensely developed and used types of Open Lands. They may contain open turf areas that may or may not be irrigated for passive recreation, active recreation playing fields, hard courts, picnic areas, restroom facilities, and other improvements.

Open Space

Open Space means a parcel of land intentionally protected from development and/or set aside for unstructured, passive recreation and the appreciation of natural surroundings. Open Space may contain but is not limited to trailheads and trails, water bodies, wetlands, wildlife viewing areas, agricultural lands, fishing facilities, and other facilities that support uses compatible with site resources and conditions. Open Space is deemed to be in use for a public purpose.

Other Open Lands

Other Open Lands may exhibit qualities of Open Space or Parks. Other Open Lands do not fit precisely into either the definition of Parks or Open Space. Examples of Other Open Lands include areas such as golf courses, cemeteries, landscaped trail corridors, or landscaped areas that are not necessarily a formal Park or Open Space.

Mission Statement:

“A Plan for the

Heart and *Soul*
of Broomfield”

The Vision

This OSPRT Plan will preserve and enhance those special places that are the heart and soul of Broomfield. The Heart is represented by Parks and other civic spaces that bring Broomfield together as a community. The Soul is represented by the Open Spaces and trails that provide contemplation and appreciation, whether viewed from afar, experienced close at hand, or near to home.

The Heart and Soul of Broomfield provides a strong sense of unity, pride, and identity. They should be enhanced, preserved, and celebrated.

Goal 1:

CREATE CONNECTED PUBLIC SPACES

Goal 2:

ESTABLISH A STRONG COMMUNITY IMAGE AND IDENTITY

Goal 3:

ENSURE EQUITABLE DISTRIBUTION OF FACILITIES

Goal 4:

DEVELOP A PROACTIVE APPROACH TO MEETING FUTURE NEEDS

Goal 5:

MAINTAIN SOUND STEWARDSHIP OF OPEN LANDS

SUMMARY OF COMMUNITY ENGAGEMENT

The goal of the community outreach efforts was to gain a better understanding of the unique wants and needs of the community to ensure that all of the diverse perspectives of Broomfield residents are represented within the OSPRT Plan. This community input and feedback was used to inform the technical analysis of the OSPRT Plan. Outreach efforts included:

- Community Survey (819 responses)
- Focus Groups (6 with different stakeholder groups)
- Open House “Pop-Up” Events (18)
- Additional Outreach Efforts:
Informational Tables at Recreation Centers, the Community Assistance Center, and Library, Three Senior Lunches with hard copies of surveys, Laminated QR Codes placed at over 30 locations including trailheads and playgrounds, Utility Bill Statement encouraging residents to take the survey, 3,000 Postcards mailed to residents, Postcard fliers placed at Child Watch, City and County Building, and Recreation Center front desks, Digital Signage at Recreation Centers, Library, Invent HQ, Health and Human Services and City Building, Partner Newsletters, Stakeholder Group Engagement, Standard Communications: Instagram, Facebook, Broomfield Enterprise (Local Newspaper) etc., Email Signature on Open Space and Trails Staff, and Telephone Hotline.

SURVEY KEY TAKEAWAYS

- OSPRT are primarily used for recreation, physical and mental wellness, and to appreciate Broomfield’s natural beauty; they are less commonly used for commuting or getting around the community although there is a desire to use the trails more frequently for transportation purposes as trail connectivity improves.
- Broomfield’s Parks and Open Space are viewed as being more accessible than both trails and recreation centers.
- A top priority is the overall maintenance of walking/biking surfaces, Open Spaces, Parks and recreation areas.
- Survey respondents overwhelmingly state that OSPRT directly contribute to their mental and physical wellbeing, especially through the use of trails, Open Space and Parks.

ACHIEVING 40% OPEN LANDS

The goal of these efforts is to provide continuous, connected Parks and Open Space throughout the community benefiting wildlife, enhancing recreational experiences, and increasing Broomfield’s walkability and quality of life.

Broomfield’s primary objective is to provide 40% of Broomfield’s planning area as Open Lands. This includes public or private Open Space, Parks, or Other Open Lands.

Broomfield currently has 8,607 acres of Open Lands. This is approximately 36% of the total Planning Area.

The balance between the 9,555 and 8,607 acres is 948 acres. When pending and approved public land dedications are deducted from the 948 acres, the remaining Open Lands needed to meet the 40% Open Lands Objective is 759 acres.

The 40% Open Lands objective may be met in three primary ways:

LAND ACQUISITION

One primary method that may be used to achieve the 40% Open Lands objective is land acquisition by purchase. Broomfield may acquire properties that are best suited for future Open Lands. Acquisition is based on several factors, including criteria related to Open Space suitability, Park suitability, and feasibility.

PUBLIC LAND DEDICATION

Requiring Public Land Dedication (PLD) for new residential development is another primary method that may be used to achieve the 40% Open Lands objective. Continuing to require land dedication as a part of residential development or redevelopment ensures that these Open Lands are accessible to the overall community and the new residents.

OTHER SOURCES

A variety of other sources including grants such as the Great Outdoor Colorado Grants, partnerships with other governments, and PLD Cash-In-Lieu received during the planning process are used to achieve the 40% Open Lands objective.

SURVEY THEMES

Access

What would help improve access to Broomfield OSPRT?
Are there enough facilities nearby your home?

- MORE TRAILS
- IMPROVED CONNECTIVITY AMONG TRAILS
- MORE SIGNAGE, IMPROVED WAYFINDING, OR EDUCATIONAL MAPS
- MORE OPEN SPACE
- INCREASED PARKING NEAR TRAILHEADS
- LOWER RECREATION CENTER FEES/NO FEES
- BETTER MAINTENANCE
- MORE/BETTER PUBLIC TRANSPORTATION OPTIONS
- IMPROVED WAYFINDING OR EDUCATIONAL MAPS
- IMPROVE SAFETY AT CROSSWALKS WHERE TRAILS INTERSECT ROADS

Safety and Welcomeness

What would make you feel more welcome?

- INCREASED SIGNAGE
- REDUCED HOMELESSNESS AND ENCAMPMENTS
- IMPROVED RECREATION CENTER CUSTOMER SERVICE TO FEEL MORE WELCOME
- INCREASED SAFETY OR THE FEELING OF BEING SAFE
- MAINTENANCE OF OSPRT
- LEASH ENFORCEMENT OF OFF-LEASH DOGS
- BETTER/INCREASED LIGHTING ON TRAILS, BIKEWAYS AND CROSSWALKS
- PATROLS/INCREASED AUTHORITY PRESENCE
- (TIE): FEWER COYOTES; CYCLIST PEDESTRIAN SAFETY; CLEANLINESS/TRASH BINS

Trail System Use

What would help you use the trail system more?

- TRAIL CONNECTIVITY
- INCREASED INTERPRETIVE SIGNAGE
- HAVING ACCESS TO TRAIL MAPS
- CONNECTIONS TO DESTINATIONS (E.G. SHOPPING, CITY CENTER, PARKS, ETC.)
- ADDING SHADE THROUGH SHADE STRUCTURES AND TREE PLANTING
- INCREASED NUMBER OF TRAILS
- TRAIL CONDITION/WEATHER MAINTENANCE
- SAFETY
- WAYFINDING
- SAFER STREET CROSSINGS

What is Missing?

What is Broomfield missing in its OSPRT?

- INCREASED SHADE/SUN COVER WITH LANDSCAPING, PAVILIONS, OR STRUCTURES
- MORE OPEN SPACE
- SIGNAGE
- NOTHING
- NIGHTTIME LIGHTING ON TRAILS, BIKEWAYS AND CROSSWALKS
- MORE TRAILS
- TRAIL CONNECTIVITY
- TRAIL MAPS ON SITE/TRAILHEADS
- SAFETY INCLUDING PATROLS OR POLICE PRESENCE OR SECURITY
- MORE PERMANENT PUBLIC RESTROOMS
- MORE TRASH CANS

RECOMMENDATIONS AND ACTION ITEMS

Based on the future needs of Broomfield, several recommendations for land acquisition, Parks and recreation facilities, Open Space, trails, sustainable management, and maintenance guidelines have been determined. Action Items help clearly outline the steps needed to make the recommendations come to fruition.

A series of Action Items have been prepared as a part of the OSPRT Planning process. These Action Items provide clear steps forward with objectives, details, responsible departments, a status, and timeline to help achieve the goals of the OSPRT Plan. The six Action Item categories are listed below.

1.0: LAND ACQUISITION AND DEDICATION

2.0: PARK AND RECREATION FACILITIES

3.0: OPEN SPACE

4.0: TRAILS

5.0: MUNICIPAL CODE REVISIONS AND POLICIES

6.0: MANAGEMENT AND MAINTENANCE

The specific Action Items that fall within each of these categories can be found in Chapter 5.

MUNICIPAL CODE REVISIONS

Codifying particular elements that relate to the OSPRT Plan will help ensure the success of achieving the OSPRT Plan goals and objectives. The code amendment recommendations will help solidify Broomfield's vision for Open Space, Parks, recreation, and trails.

Planned Unit Development Review Standards and Site Plan Review Standards

Broomfield's municipal code Section 17-38-120 and 17-38-220 include requirements for Planned Unit Development (PUD) Applications. These sections should be updated to establish regulatory criteria for PUD Applications that would require proposed plans to respond to these topics in support of the OSPRT Plan. They include:

- Future needs for OSPRT facilities
- Adherence to Park design standards and trail standards
- Plan to provide for stormwater conveyance that addresses water quality
- Protection of significant natural features, riparian corridors, ridgelines, existing trees, native vegetation, habitat areas and wildlife.

The OSPRT Plan would be used to provide more details on the topic areas. See provisions in Chapter 7.

Public Land Dedication (PLD)

Updated Public Land Dedication provisions are proposed to be codified. Revisions also address income aligned housing projects to incentivize this type of housing while also ensuring equitable locations of Open Space, Parks, and trails for residents that are served by this type of housing. See proposed provisions in Chapter 8.

IMPLEMENTATION STRATEGIES

The Open Space and Trails Department and the Parks, Recreation, and Senior Services Department use a variety of mechanisms to fund capital investment, including CCOB funds, the public land dedication cash-in-lieu that developers provide when the required actual dedicated Open Space or Park land is not provided, and grants.

Funding Sources

Government Funds

- Open Space and Park Sales and Use Tax Fund
- Conservation Trust Fund
- Sales and Use Tax Capital Improvement Fund
- Services Expansion Fee Fund

Public Land Dedications and Cash-in-Lieu

Grants

Non-Traditional Funding Sources

Future Budget Implications

As the CCOB continues to grow and eventually reaches build out, it has opportunities to seek additional Open Space and Park land to meet its 40% Open Lands objective. CCOB will also have the opportunity to evaluate how best to thoughtfully and responsibly continue developing the trail system including signage, conducting wildlife management, investing in recreation and senior services infrastructure, expanding recreation services, and providing maintenance to meet the demands of a growing population. The OPSRT Plan addresses the topics below to outline future, anticipated budget implications.

Land Acquisition Costs

Open Space and Park Enhancement/Amenity Costs

Trail Development Costs

Maintenance and Operations/Administration Needs

Key Future Capital Projects

Recognizing that funding for capital projects is constantly evolving, the Open Space and Trails Department and Parks, Recreation, and Senior Services Department each developed lists of key projects to consider for potential funding in the coming years.

PARKS, RECREATION, AND SENIOR SERVICES

Phase IV renovation of the Bay
 Renovation of the Norm Smith Service Center
 Anthem Community Park Build Out
 Paul Derda Recreation Center Pool Boiler Repairs
 Paul Derda Recreation Center Roof Replacement
 Paul Derda Recreation Center Hardscape Replacement
 Irrigation Replacement In Skyestone
 Annual Playground Replacement
 Annual Tree Replacement Program
 Interlocken Playground, Restroom, Shelter Replacement
 Replacement of Senior Service Passenger Vehicles
 Annual Fitness Equipment Replacement Program
 LED Lighting Upgrades
 Master Plan for the Eagle Point Property

OPEN SPACE AND TRAILS

Open Space Land Acquisition
 Update of the Public Land Dedication Ordinance
 Harmer Open Space Management Plan
 Kabert Open Lands Management Plan
 Davis and Nordstrom Open Space Management Plan
 Huron Open Space Management Plan
 Metzger Farmhouse Design Analysis to Allow for Public Use
 Open Space Native Grasslands Restoration at various Open Space sites such as Great Western Open Space, The Field Open Space, and Wottge Open Space
 Habitat Enhancements to Plaster Reservoir Open Space
 Ongoing Wildlife Research
 Rock Creek to Brainard Drive Trail and Potential Underpass/Trailhead Parking (part of the Rock Creek Regional Trail)
 Flatiron Crossing to Storage Tek Drive/96th Street Trail (part of the Rock Creek Regional Trail)
 Wildgrass at Northwest Parkway Underpass Retro-fit and Trail Connection to Rock and Coal Creek Regional Trails
 Extension of the Broomfield Trail from Lowell Blvd. to Spruce Meadows along Community Ditch
 Implementation of the Raptor Management Plan
 Implementation of the OSPRT Plan Action Items

OSPRT PLAN SUMMARY MAP

Based on the recommendations of the OSPRT Plan, an OSPRT Plan Summary Map has been developed. This map shows existing Open Space, Parks, and Other Open Lands; the completed trail system; key restoration/habitat enhancement sites; and opportunities for future Open Space and Parks acquisition by purchase or public land dedication. The purpose of this map is to highlight some of the key concepts from the OSPRT analysis but is not intended to be a complete and comprehensive summary of all OSPRT Plan recommendations. The OSPRT Plan Summary Map is a high altitude look at the findings identified during the planning process. The specific maps related to land acquisitions, trails, etc. should be reviewed in tandem with the OSPRT Plan Summary Map.

FUTURE PARKS AND OPEN SPACE AREAS

-  Future City/County Wide or Community Park Location
-  Future Neighborhood Park Location
-  Future Open Space Area

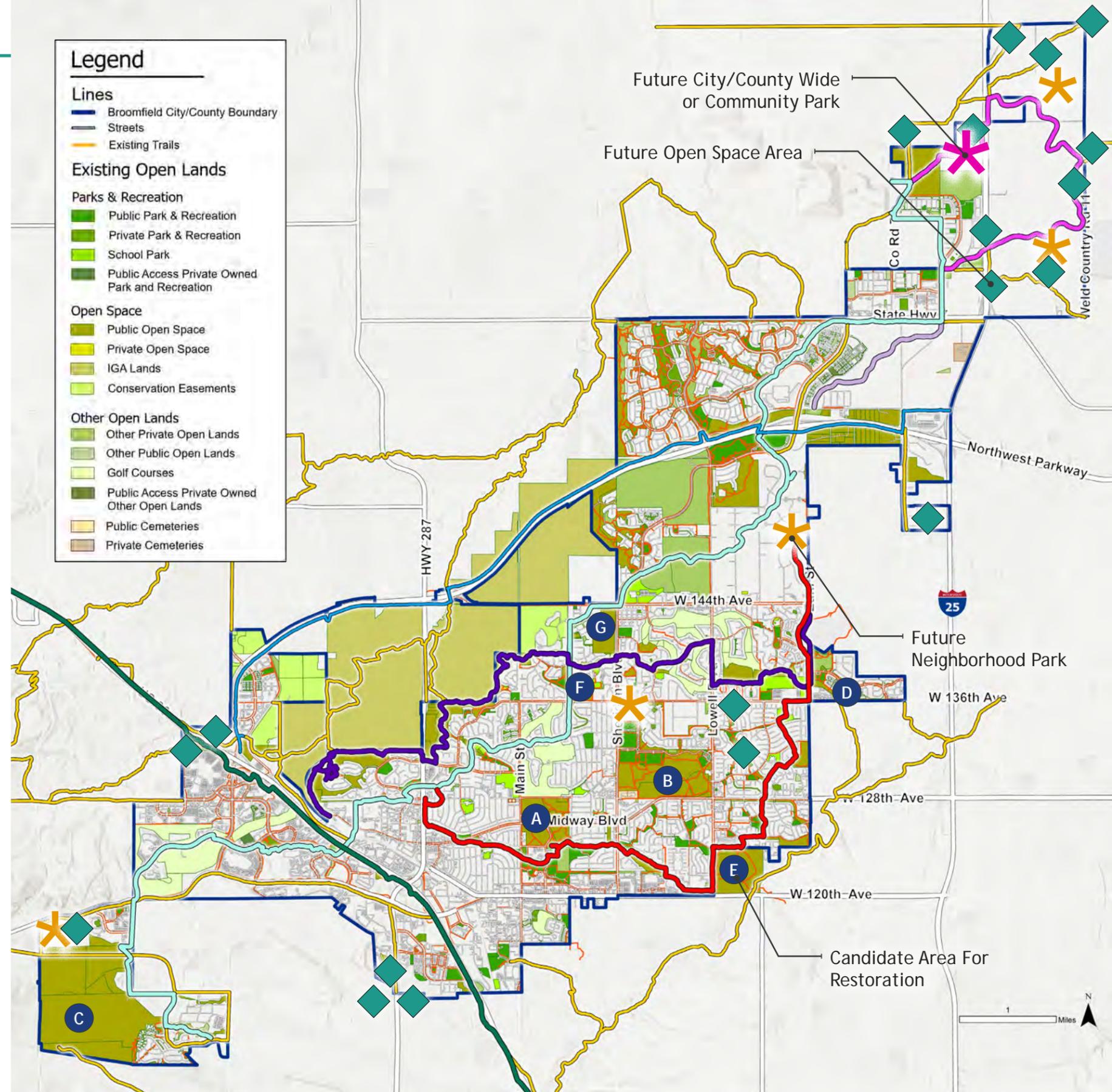
CANDIDATE AREAS FOR ECOLOGICAL RESTORATION/HABITAT ENHANCEMENT

-  The Field Open Space
-  Broomfield County Commons
-  Great Western Reservoir
-  Quail Creek Drainage
-  Metzger Farm
-  Markel Open Space
-  Wottge Open Space

FUTURE COMPLETED TRAIL NETWORK

-  US 36 BIKEWAY (COMPLETED)
-  REGIONAL TRAILS
-  BROOMFIELD TRAIL
-  NORTH BROOMFIELD LOOP TRAIL
-  LAKE LINK TRAIL (COMPLETED)
-  NORTHWEST PARKWAY TRAIL
-  SOUTHEAST COMMUNITY LOOP TRAIL
-  BASELINE NEIGHBORHOOD TRAIL
-  ALL OTHER EXISTING TRAILS

Note that the future Open Space, Parks, trails, and candidate areas for restoration locations are conceptual in nature only. They are meant to demonstrate the location intent.



Chapter 1

INTRODUCTION

As a community, Broomfield has a deep appreciation for the inherent value of its Open Space, Parks, recreation facilities, cultural heritage, and trails. Recent community surveys have confirmed that residents support developing a well-connected trail network to create a walkable community. The 2023 Community Survey highlighted that almost all Parks, recreation and leisure services and facilities were rated very highly, particularly Open Space, Parks, and trails (92% excellent or good).

These types of recreational opportunities and contact with nature not only improve a community's quality of life, but also offer physical and mental health benefits. They encourage a more active lifestyle while also promoting a shared sense of pride and place for a community. They provide important benefits to the local economy as more employers and residents are attracted to locations that offer access to Open Space and Park opportunities.

Maintaining the integrity of Broomfield's Open Space, Parks, recreation and trails has been an ongoing effort in partnership with the community through decades of collaboration and long term planning. This OSPRT Plan is a continuation of the community's long-term planning efforts to help maintain and enhance Broomfield's sense of unity, pride, identity, and overall quality of life.

1.1 OVERVIEW

The City and County of Broomfield (CCOB) is among the fastest-growing areas in the region due to its high quality of life, recreational opportunities, and beautiful natural, cultural, historic and scenic resources. It is a community with a strong sense of unity, pride, and identity. As Broomfield has grown and changed, its appreciation for the natural environment has remained a constant and has become a defining factor of the community that makes Broomfield truly unique.

Broomfield's population is expected to grow from just over 84,000 in 2023 to around 124,000 residents by 2050. This OSPRT Plan helps ensure that Broomfield continues to provide a high quality of life for the community by establishing a series of goals and policies to guide decision-making for Open Lands along the way. It focuses on conserving and enhancing natural, cultural, historic, agricultural, and scenic resources, providing opportunities for recreation, shaping the pattern of growth and development, and ensuring equitable access to all.



Trail in Anthem, Broomfield



Sunflowers at the Nordstrom Open Space

1.2 PURPOSE OF THE PLAN

The Open Space, Parks, Recreation and Trails (OSPRT) Plan is a 20-year policy document intended to serve as a road map for Broomfield staff, elected officials, advisory committees, and the community to guide decisions about Open Space, Parks, recreation, and trails. The goal of the OSPRT Plan is to ensure that Broomfield's vision of the community is carried forward into the future and to promote a strong sense of unity, pride, and identity. It includes an analysis of Broomfield's current and future needs for Open Space, Parks, recreation, and trail facilities. The plan also outlines specific implementation strategies that will assist in achieving the community's goals to acquire additional Open Lands and trails, preserve natural resources, and enhance existing spaces and facilities.

The OSPRT Plan is a refresh to the 2005 OSPRT Plan and carries forward the vision for Broomfield's Open Lands originally established in the City of Broomfield 1995 Plan. It reflects the community vision of sustainability, core values, and goals set forth in The City and County of Broomfield's 2016 Comprehensive Plan.

Community engagement and the results of a technical analysis of the City's Open Lands, recreational opportunities, and trails have been reviewed by Broomfield's Open Space and Trails Advisory Committee (OSTAC) and Parks, Recreation and Senior Services Advisory Committee (PRSSAC) before being presented to City Council.

Residents may also look to the OSPRT Plan for guidance regarding the goals and commitments aimed at ensuring a sustainable future for Broomfield. The Plan is meant to be reviewed and amended to remain current with changing conditions within and outside Broomfield and is intended to be flexible as Broomfield continues to change and develop over the next 20 years.

1.3 “REFRESHING” THE 2005 OSPRT PLAN

This focus on Open Space, Parks, and recreation was initiated with the development and adoption of the City of Broomfield 1995 Plan. This Plan established a strong vision for Broomfield’s Open Lands system and specified policies designed to facilitate achievement of the vision. To facilitate this vision, the 2005 Plan provided a system of broad policies and design guidelines that address preservation, restoration and enhancement of the natural environment, creation of a comprehensive trail network, creation of a Parks system that provides a diversity of recreational opportunities, and preservation of wildlife and habitat.

This OSPRT Plan builds on these early goals of the City of Broomfield 1995 Plan vision and the 2005 implementation systems. Its major focus is on translating community values and vision into updated clear performance goals and financing strategies that promote implementation.

Please note that the data referenced throughout this document is the most up to date information available as of November 2023.



Broomfield's Xeriscape Demonstration Garden

BROOMFIELD'S ROAD MAP

AS A ROAD MAP, THE OSPRT PLAN PROVIDES:

- Goals and Objectives which are intended to provide measurable indicators of progress in realizing the vision of the OSPRT Plan.
- Inventory of Broomfield’s existing OSPRT resources and analysis of current and future needs for Open Space, Parks, recreation facilities and trails, derived from community trends in utilization, results of a community needs assessment survey, and analysis of comparable communities.
- Land acquisition criteria to assist Broomfield officials in identifying opportunities for suitable Open Space and Park sites for acquisition or protection.
- A physical plan identifying potential Open Space, Parks, and trails improvements to be completed as the community grows.
- Design standards for Parks and trails that identify the types of amenities to be included in these facilities to balance quality, long-term maintenance and environmental sustainability.
- Guidelines for management and maintenance of community Open Space, Parks, recreation facilities, and trails.
- Specific implementation strategies for achieving the goals outlined in the Plan.

1.4 PLANNING PROCESS

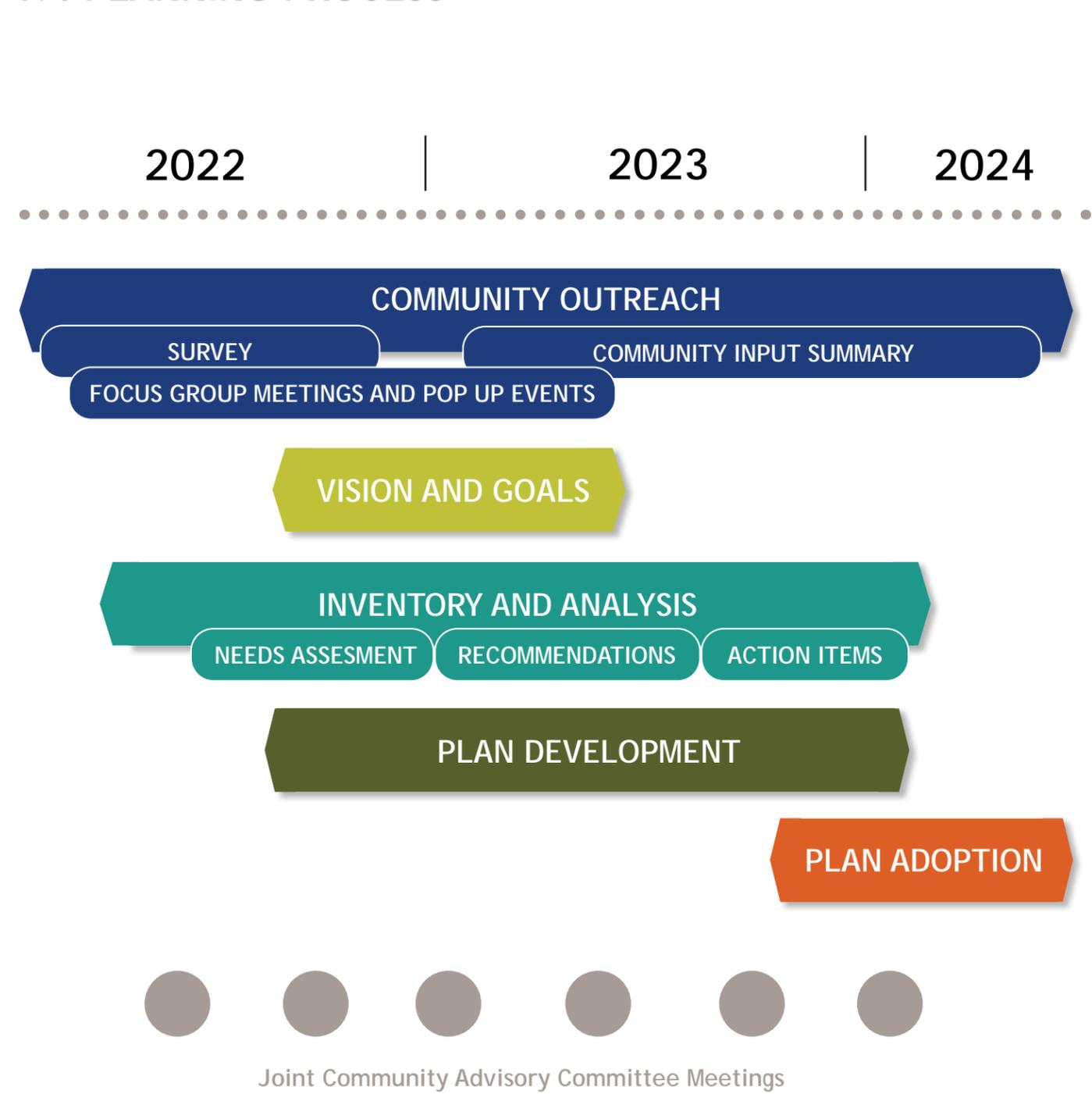


Figure 1: Planning Process Graphic

COMMUNITY OUTREACH

Community outreach was a part of the planning process from start to finish. Public engagement included 819 survey responses, 6 focus group meetings, 18 pop up events and other outreach efforts that were analyzed and summarized and utilized as a central guide in the planning process.

PLAN DEVELOPMENT

The Plan Development occurred concurrently with the Inventory and Analysis stage of the project. Draft plan content and documents were prepared and reviewed with Broomfield Staff, Council, Joint Advisory Committee Members, and others throughout the planning process. This ensured that all elements of the OSPRT Plan were as complete and comprehensive as possible.

VISION AND GOALS

The Community Vision, Goals, Principles, and performance measures were refined based on the 2005 OSPRT Plan, 2016 Comprehensive Plan, Community Input Summary, and other information. A Mission Statement was also created as a part of the OSPRT Plan process.

PLAN ADOPTION

After adoption by City Council this will serve as a policy document to help guide the vision of Broomfield's OSPRT over the next 20 years.

INVENTORY AND ANALYSIS

A multitude of existing plans, documents, and data were reviewed and analyzed as a part of the planning process. Community demographics, growth projections, natural resources, existing conditions and facilities, Park locations, various design standards and guidelines, polices, current code standards, budget, and other elements were included as a part of the inventory and analysis stage and ultimately, the needs assessment. Recommendations were developed based on the needs assessment with action items to implement them.

COMMUNITY ADVISORY COMMITTEES

The OSPRT Plan is the result of sustained effort over a 2-year period that included the Open Space and Trails Advisory Committee (OSTAC), the Parks, Recreation and Senior Services Advisory Committee (PRSSAC), public engagement survey results and comments, City Council comments, and research and analysis by City staff and consultants.

Both OSTAC and PRSSAC continuously reviewed the recommendations for the OSPRT Plan while the plan was being developed. The review included topics relating to the survey, community outreach efforts, mission statement, goals, Open Lands objectives, Park standards, trail standards and missing links, land acquisition, and other elements.

1.5 MISSION STATEMENT AND PLAN VISION

Mission Statement

“A Plan for the
Heart and *Soul*
of Broomfield”

The Vision

This OSPRT Plan will preserve and enhance those special places that are the heart and soul of Broomfield. The Heart is represented by Parks and other civic spaces that bring Broomfield together as a community. The Soul is represented by the open spaces and trails that provide contemplation and appreciation, whether viewed from afar, experienced close at hand, or near to home.

The heart and soul of Broomfield are key components that build on the 2016 Comprehensive Plan vision statement of a sustainable Broomfield:

“BROOMFIELD: A CITY AND COUNTY OF DIVERSE NEIGHBORHOODS THAT INSPIRE IDENTITY AND UNITY; WHERE ITS CULTURE OF EXCELLENCE, LEADERSHIP, SELF DETERMINATION, AND INNOVATION IS NURTURED AND PRACTICED; AND WHERE ITS BUSINESSES THRIVE AND ITS CITIZENS OF ALL AGES ARE PROUD TO LIVE.”

- BROOMFIELD COMPREHENSIVE PLAN TASK FORCE

The OSPRT Plan shares the 2016 Comprehensive Plan’s core values of social responsibility and equity, environmental stewardship, and economic security and opportunity. Collectively, these core values build a solid foundation for Broomfield’s OSPRT by providing unique places for current residents of Broomfield and the future generations beyond.

The Heart and Soul of Broomfield provides a strong sense of unity, pride, and identity. They should be enhanced, preserved, and celebrated.

1.6 GOALS

Goal 1:

CREATE CONNECTED PUBLIC SPACES

Goal 2:

ESTABLISH A STRONG COMMUNITY IMAGE AND IDENTITY

Goal 3:

ENSURE EQUITABLE DISTRIBUTION OF FACILITIES

Goal 4:

DEVELOP A PROACTIVE APPROACH TO MEETING FUTURE NEEDS

Goal 5:

MAINTAIN SOUND STEWARDSHIP OF OPEN LANDS



Kid's Fishing Derby Day in Broomfield

Goal 1:

CREATE CONNECTED PUBLIC SPACES

Provide 40% of Broomfield's planning area as public or private Open Space, Parks, or Other Open Lands to create an interconnected Open Lands system that is linked to the trails network that extends throughout the community that benefits wildlife, enhances recreational experiences and increases Broomfield's walkability and overall quality of life.

Goal 1 Objectives:

1.1: Aspire for every resident of Broomfield to live within a ½ mile (10-minute walk) to an Open Space, Park, or trail.

1.2: Acquire land that provides physical connections to adjacent Open Lands to complete the missing components of the overall OSPRT system while protecting natural resources and wildlife habitat.

1.3: Design trail systems to link Open Spaces, Parks, recreation facilities, residential areas, and other major destinations of Broomfield such as schools, libraries, grocery stores, and employment areas.

1.4: Partner and coordinate with municipal, county, state, and local neighbors to promote sustainability using alternative transportation modes such as cycling and walking.

1.5: Ensure that the Open Spaces, Parks, and Other Open Lands that extend through residential neighborhoods have a high level of visibility, include active and/or passive recreational uses compatible with the site, sustainable features such as native landscaping including pollinator plantings, open fences, or local streets to maintain safety within these areas.



Sharing Friendship and An Umbrella

Goal 1 Performance Steps:

- Evaluate and prioritize potential Open Lands for purchase, preservation or dedication in a manner that closely resembles Broomfield's existing commitment to Open Lands in its developed areas of the community so that all residents have the same level of service to Open Space, Parks, and trails.
- Encourage all new residential and mixed-use development to meet the ½ mile (10-minute walk) objective.
- Prioritize and develop properties located in communities in need of Open Lands to meet the ½ mile (10-minute walk) objective.
- Encourage residential development that provides housing for those residents with mobility challenges to meet a ¼ mile walkability objective.
- Provide safe and unobstructed access points to paths and trails to meet the ½ mile (10-minute walk) objective.
- Encourage connected public spaces through the provision of pedestrian friendly sidewalks and pathways, and provision of Open Space and Parks in neighborhood design.
- Prioritize and develop the key missing links in Broomfield's trail system.
- Where off-street trail connections are infeasible, ensure that safe on-street connections are provided that maximize separation between pedestrians/cyclists and vehicles to make arterial street crossings safe and effective.
- Update the OSPRT inventory system based on level of service to evaluate and prioritize potential Open Lands acquisition.
- Implement evaluation criteria for assessing potential land acquisitions that capture important community values related to natural and cultural resources, recreation, and walkability.
- Pursue the acquisition of high-valued Open Space, Parks properties and trail corridors, while achieving the overall Open Lands goal by strategically applying a full range of acquisition, preservation and financing options.
- Utilize natural or man-made corridors such as drainage ways or utility corridors to support connections where feasible.
- Identify infill sites that can support Open Space, Parks, and/or trails that fill gaps in the system and meet walkable access objectives.

Goal 2:

ESTABLISH A STRONG COMMUNITY IMAGE AND IDENTITY

Embrace the “Heart and Soul” of Broomfield represented by Open Space, Parks, trails, and recreational facilities to reinforce a strong community image and identity and to improve the quality of life for its residents.

Goal 2 Objectives:

2.1: Acquire and develop “signature” facilities or properties that become important landmarks for the community. These may include premium Open Space properties, historical/cultural sites, developed Park land, or a well-connected trail system distributed throughout the community.

2.2: Implement a wayfinding program to allow residents and visitors to easily recognize Broomfield properties and facilities supporting effective way-finding.

2.3: Incorporate distinctive public art that is respectful and compatible with the Open Space, Park, or trail site to enhance the cultural identity of Broomfield.

2.4: Place interpretive signage in key locations on Open Spaces, Parks, and trails to highlight history, flora, fauna, and general site information for trail users.

2.5: Foster a strong community image that reflects the value Broomfield places on equity, health, recreation, natural resources, wildlife, beauty of the land, and sustainability.

Goal 2 Performance Steps:

- Capitalize on existing places that have opportunities for “signature” components that could feature special events, cultural heritage icons, defining natural landmarks, historic preservation, or other important community symbols.
- Update Broomfield’s Standards and Specifications for trails, bike lanes, underpasses, and walkways as needed.
- Implement consistent and clear wayfinding to reinforce Broomfield’s brand and to assist in clear connectivity of OSPRT.
- Incorporate new technology in design standards such as Wifi and scannable QR/bar codes into the wayfinding plan per the Broomfield Wayfinding System Report.



Broomfield County Commons Park (ironturf.com)

Goal 3:

ENSURE EQUITABLE DISTRIBUTION OF FACILITIES

Promote the equitable distribution of Open Space, Parks, recreational facilities, and trails to all communities of Broomfield.

Goal 3 Objectives:

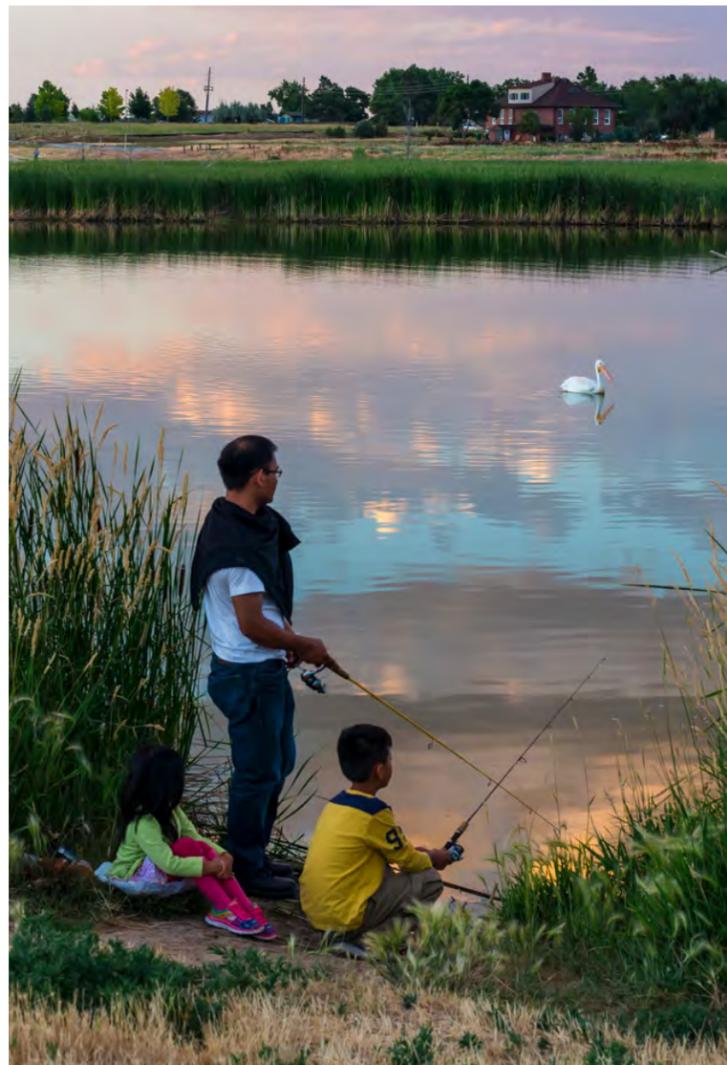
3.1: Promote access for special needs and abilities to appropriate recreational, Open Space, and trail facilities in compliance with applicable federal accessibility requirements.

3.2: Build a better understanding of residents' needs in economically challenged areas of the community and create additional policies/actions to create equitable access to Open Lands.

3.3: Promote accessibility to facilities and programs for residents regardless of income level.

3.4: Accommodate non-English speaking users by providing resources and information in other selected languages.

3.5: Provide OSPRT spaces that help improve the community's physical, mental, social, and environmental health by providing access to spaces where they can participate in structured and self-led activities.



Fishing at Tom Frost Reservoir at Broomfield County Commons Open Space

Goal 3 Performance Steps:

- Analyze the service capabilities in terms of access and acreage to Broomfield's recreational facilities and programs against established measures for major geographic areas of Broomfield.
- Evaluate Broomfield's Trail Map to facilitate easier access to Open Space, Parks, recreation, other trails, and the existing public transportation sites of Broomfield.
- Explore alternative transportation rental options including bicycle or scooter programs.
- Update accessibility standards and guidelines for appropriate recreational and trail facilities.
- Incorporate more accessible and adaptable recreational opportunities and facilities including play areas, trails, and athletic fields.
- Evaluate and adjust, as necessary, Broomfield's existing reduced rate program for recreation programs.
- Analyze the need for digital and printed resources and information in both English and other selected languages and determine best practices for implementation.
- Analyze equitable access to Open Space as well as Parks through not only the ½ mile buffer zone lens and level of service, but also by identifying the physical barriers that may prevent actual access within the ½ buffer zone.

Goal 4:

DEVELOP A PROACTIVE APPROACH TO MEETING FUTURE NEEDS

Develop a proactive approach to meeting the future Open Space, Parks, recreation, and trails programming and facility's needs.

Goal 4 Objectives:

4.1: Codify an effective Public Land Dedication Ordinance into the City and County of Broomfield Municipal Code.

4.2: Annually review updated build-out projections and locations for residential growth provided by Economic Vitality and Community Development to anticipate projected needs for OSPRT facilities and programs.

4.3: Regularly analyze service capabilities of recreational facilities and programs against generally recognized established measures to identify areas for improvement.

4.4: Analyze current rules for the use of e-bikes, scooters, and other devices with integrated electric motors for our Parks, Trails, and Open Spaces, and update as necessary.

Goal 4 Performance Steps:

- Ensure that Parks are accessible, secure, and visible to the residents that they are intended to serve.
- Review current build-out projections for residential areas, commercial areas, and Open Lands.
- Evaluate the current Youth Recognized Sports League requirements and use of Broomfield fields.
- Periodically evaluate fees and charges for the use of, or participation in, organized athletic leagues and rentals of Broomfield fields for organized sports activities.
- Develop fees and charges that are consistent with cost allocation strategies and cost recovery goals.
- Update and evaluate existing youth and teen programs and facilities to meet the needs of the community.
- Develop a Youth Corps to focus on nature education and other aspects of Open Space, Parks and Trails such as maintenance and public engagement.



McKay Lake Nature Park (oothousestudio.com)

Goal 5:

MAINTAIN SOUND STEWARDSHIP OF OPEN LANDS

Exercise careful and responsible management and maintenance of Broomfield's Open Lands that preserve and enhance significant natural resources, accommodates human use in a manner that preserves the underlying resource in an environmentally responsible way, and utilize new and sustainable technologies.

Goal 5 Objectives:

- 5.1: Develop and implement tools and strategies to **protect and preserve significant natural resources including wildlife and habitat for plants and wildlife.**
- 5.2: Establish design standards for Parks, trails, and facilities that are achievable, attainable, and sustainable for new development, that are responsive to unique site conditions, and that generally promote sound stewardship of **Broomfield's natural resource areas.**
- 5.3: Establish environmentally responsible and sustainable management and maintenance practices.
- 5.4: Establish clear guidelines for public use of Open Lands that provide for public enjoyment while respecting the inherent natural resource values.
- 5.5: **Expand partnerships with neighboring jurisdictions, nonprofit entities, youth groups, and other organizations within the community to promote stewardship programs and volunteer initiatives.**



Cottonwood Habitat Snag at Broomfield County Commons Open Space

Goal 5 Performance Steps:

- Consider revisions to the Broomfield Municipal Code to promote the protection of significant natural features for new development.
- Consider and prepare an educational program regarding trail etiquette, recreational facility use, and pet waste responsibility/management.
- Identify significant natural resources, wildlife habitat, and wildlife to be protected and preserved.
- Strive to incorporate sustainable construction principles when developing or renovating Park, recreational, or trail facilities.
- Establish and use standards, policies, and practices that encourage and support the protection of wildlife and habitats.
- Use land management and maintenance principles that aim to minimize or eliminate waste and promote agriculturally productive landscapes and ecosystems where possible.
- Develop baseline management plans for Open Space areas of a significant size that define appropriate and allowable uses, management strategies, wildfire mitigation, and restoration or remediation activities needed to enhance the health and the functioning of the resource, and that maximize public enjoyment and uses.
- Continue to adopt guidelines that reduce water usage and adhere to industry standards for best practices regarding maintenance.
- Prepare amendments to the Broomfield Municipal Code to stipulate that Park land should meet the specific program and environmental criteria defined in the OSPRT Plan.
- Establish sustainability principles for public agricultural properties and implement pilot projects to test these principles.
- Continue to work with existing environmental education groups and resources to develop material and programs that promote education and stewardship of Open Lands.
- Prepare design standards for Parks that address, size, location, programming, and intent.
- Continue to implement grassland restoration and habitat enhancement projects on Open Space properties.
- Provide electric vehicle (EV) charging stations at OSPRT facilities such as recreation centers and trailheads when feasible given utility availability.



Chapter 2



EXISTING RESOURCES AND CONDITIONS

The City and County of Broomfield is located midway between downtown Denver and Boulder along U.S. 36 Highway at an elevation of 5,344 feet above sea level. It has a population of approximately 84,000 people and spans about 34 square-miles.

2.1 HISTORY AND CONTEXT

Community History

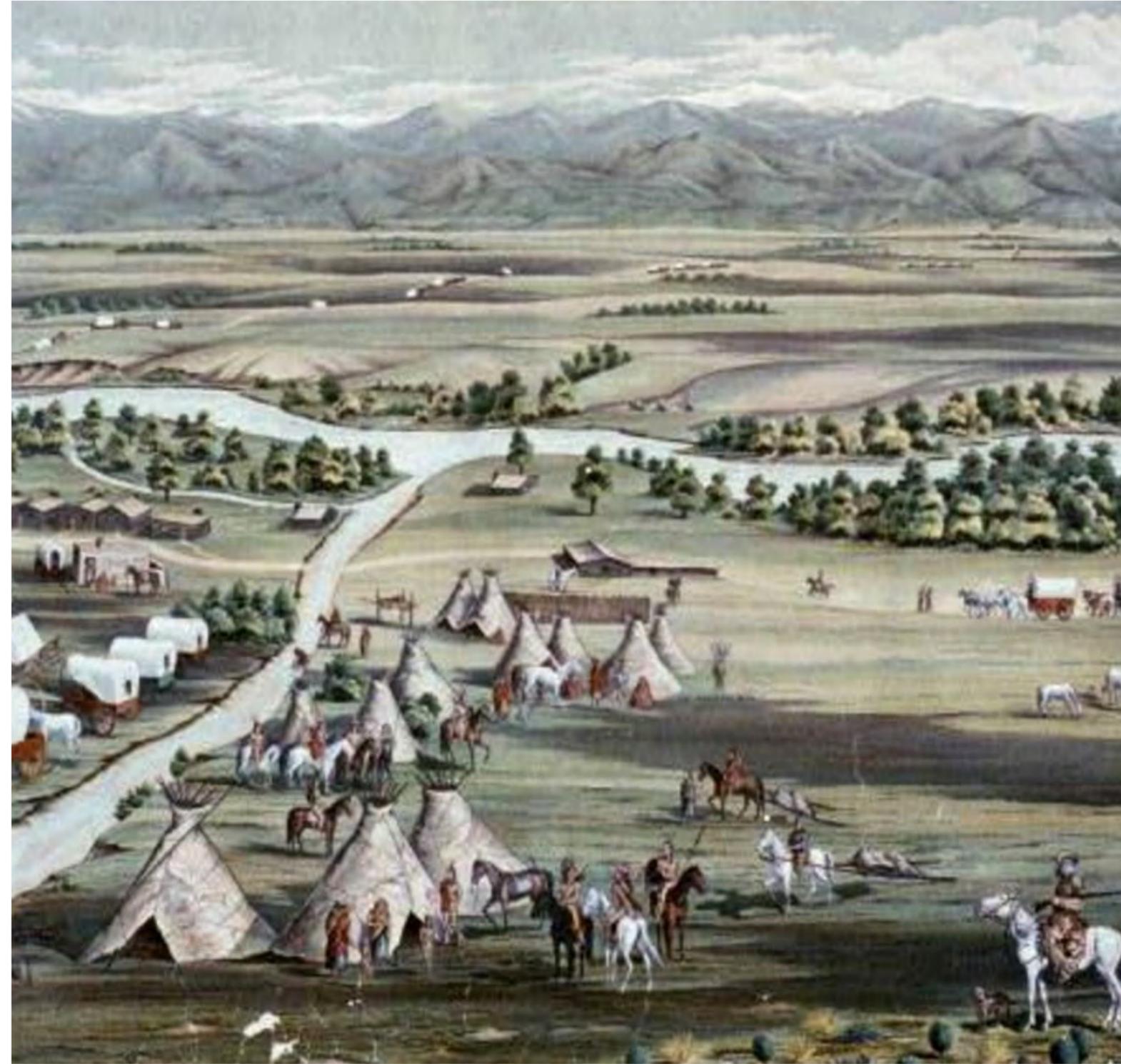
Indigenous Habitation

Broomfield was originally the home of pre-contact native peoples, who lived in the area for thousands of years. Archeological evidence of over 4,000 years of habitation has been found on the northwest side of Broomfield. Other key locations that have archaeological evidence of indigenous habitation include Magic Mountain (outside Golden), Lindenmeier (near Ft. Collins), Bellwood (Pueblo), and the Rock Shelter Site (Durango).

By the late 1700s, the Cheyenne and Arapaho people would have lived and hunted near Rock Creek and Dry Creek. They likely used the high point at the Broomfield water towers located adjacent to Kohl Street and Anne Crouse Park as a lookout spot. Prior to Cheyenne and Arapaho land use, the Ute people lived and hunted on the land upon which Broomfield now sits. Church Ranch Boulevard and the Overland Trail stagecoach road would have been a key local area for trade and travel for indigenous people.

In 1864, Territorial Governor John Evans, who was also the superintendent of Indian Affairs in the Colorado territory, issued a proclamation authorizing the citizens of Colorado “to kill and destroy, as enemies of the country... all hostile Indians.” Evans sought to evict the Cheyenne and Arapaho from Colorado to make way for further settlement and eventual statehood, and that edict was one way for him to do that.

These efforts culminated in the Sand Creek Massacre in southeast Colorado, which resulted in dozens of Arapaho being massacred by U.S. volunteer troops from the Colorado Territory at Sand Creek. The Arapaho never collectively returned to their homeland.



One of the earliest depictions of Auraria showing the Cherry Creek dividing prospectors looking for gold and the Cheyenne and Arapaho Indians who used the region as a campsite (clas.ucdenver.edu)

The Railroad Arrives

In 1873 the Colorado Central Railroad brought a line north from Golden that ran along the southern side of today's U.S. 36 and connected Broomfield to the world via Denver, with connections to every major town in the United States and the territories. Several other railroads soon followed including the Denver, Utah and Pacific Railroad in 1881 and the Denver, Marshall and Boulder Railway in 1886. One of the early names for the area was Zang's Spur, after the railroad spur serving Adolph Zang's grain fields near the vicinity of 120th Avenue and Wadsworth Boulevard. Broomfield was founded in 1877.



Zang House (Broomfield Depot Museum Collection)

Adolph Zang and Dryland Farms

In 1885, Adolph Zang bought the area in the vicinity of 120th Avenue and Olde Wadsworth Boulevard. Ultimately, Zang bought 4,000 acres of land in the area for his Elmwood Stock Farm where he bred Percheron horses and tended fruit orchards.

The Boulder Turnpike and Post-War Growth

At the turn of the century, Broomfield itself was a little town in the area around 120th Avenue and Wadsworth Boulevard. In 1950, construction began on the Boulder Turnpike, a toll road with a toll booth, and one of the first paved roads in the area. In 1955, Turnpike Land Co. purchased land in the area and today's Broomfield was conceived as a planned community and billed as a model city.



Honey House (Broomfield Depot Museum Collection)



Shep the Turnpike Dog - 1950s (Broomfield Depot Museum Collection)

The Planned Community

In the 1950s Broomfield began during a growth boom when developers decided to build the state's first dream community. The first filing, that area north of 120th Avenue between Main Street and U.S. 287, was built, elementary school classes were held in "cottage schools" built by the developers, and a shopping center sprouted where a lake had once stood in the area by U.S. 287 and Midway Blvd. Broomfield incorporated as a municipality in 1961.



Aerial of First Filing (Broomfield Depot Museum Collection)

Late 20th Century Growth

The City of Broomfield grew through a series of annexations including portions of what is now Interlocken and annexations along 96th Street. Several business opportunities along with the development of Flatiron Crossing, an upscale shopping area, spurred further growth and City expansion. Eventually, Broomfield extended into portions of four counties: Adams, Boulder, Jefferson and Weld.



Broomfield Heights (Broomfield Depot Museum Collection)



Broomfield Heights (Broomfield Depot Museum Collection)

Becoming the 64th County

To help alleviate the confusion in accessing services with the City of Broomfield being the only city in the state to lie in portions of four counties, residents sought relief in a constitutional amendment creating a City and County of Broomfield. The amendment passed in 1998, giving the city a three-year transition period in which to organize to become Colorado's 64th county. The City and County of Broomfield, officially took effect on November 15, 2001.



Broomfield Center Sign (Broomfield Depot Museum Collection)

Regional Context

Broomfield is located within close proximity to a number of regional facilities that preserve significant Open Space and provide recreational amenities for area residents. These include:

Lands Covered by an Intergovernmental Agreements

Two Intergovernmental Agreements (IGA) approved in 1999 and 2001 among Boulder County, City of Lafayette, City of Louisville, and Broomfield provided for the preservation of over 2,400 acres of Open Space adjacent to the western boundary of Broomfield. These IGAs were developed during the time when Broomfield was planning to become its own county and proposing the development of the Northwest Parkway.

The Open Space area provides multi-use trails and fishing is permitted at nearby Stearns Lake. Some of these properties are maintained in active agricultural use, producing hay, oats, pumpkins, corn and wheat.

As defined in the IGAs, Broomfield provided payments to cover a percentage of the acquisition costs for many of these properties through the joint acquisition plan developed by the four governments. The agreement also provides that with respect to all Boulder County Open Space, currently acquired or to be acquired in the future, Boulder County shall permit access to all City and County of Broomfield residents upon the same terms and conditions to which Boulder County residents are subject.

Regional Trails

Several Regional Trail Corridors abut or cross Broomfield including the Big Dry Creek, Rock Creek, and Coal Creek Trails. These trails act as multi-modal corridors, connecting to the surrounding communities and Open Lands destinations of Broomfield and provide important stream and riparian corridors with ecologically valuable habitat areas.

Standley Lake Regional Park

Located in the City of Westminster, this resource provides 2,327 acres that include a large lake with spectacular mountain views, a network of regional trails, and abundant habitat for wildlife that includes a nesting pair of Bald Eagles.

Rocky Flats National Wildlife Refuge

Before the site was established as a national wildlife refuge in 2001, the Rocky Flats Plant produced nuclear and nonnuclear weapons including plutonium triggers for nuclear weapons on the property. The Plant operated from 1952 to 1994. In 1989, the facility's mission changed to cleanup and closure. The Refuge officially opened to visitors in 2018.

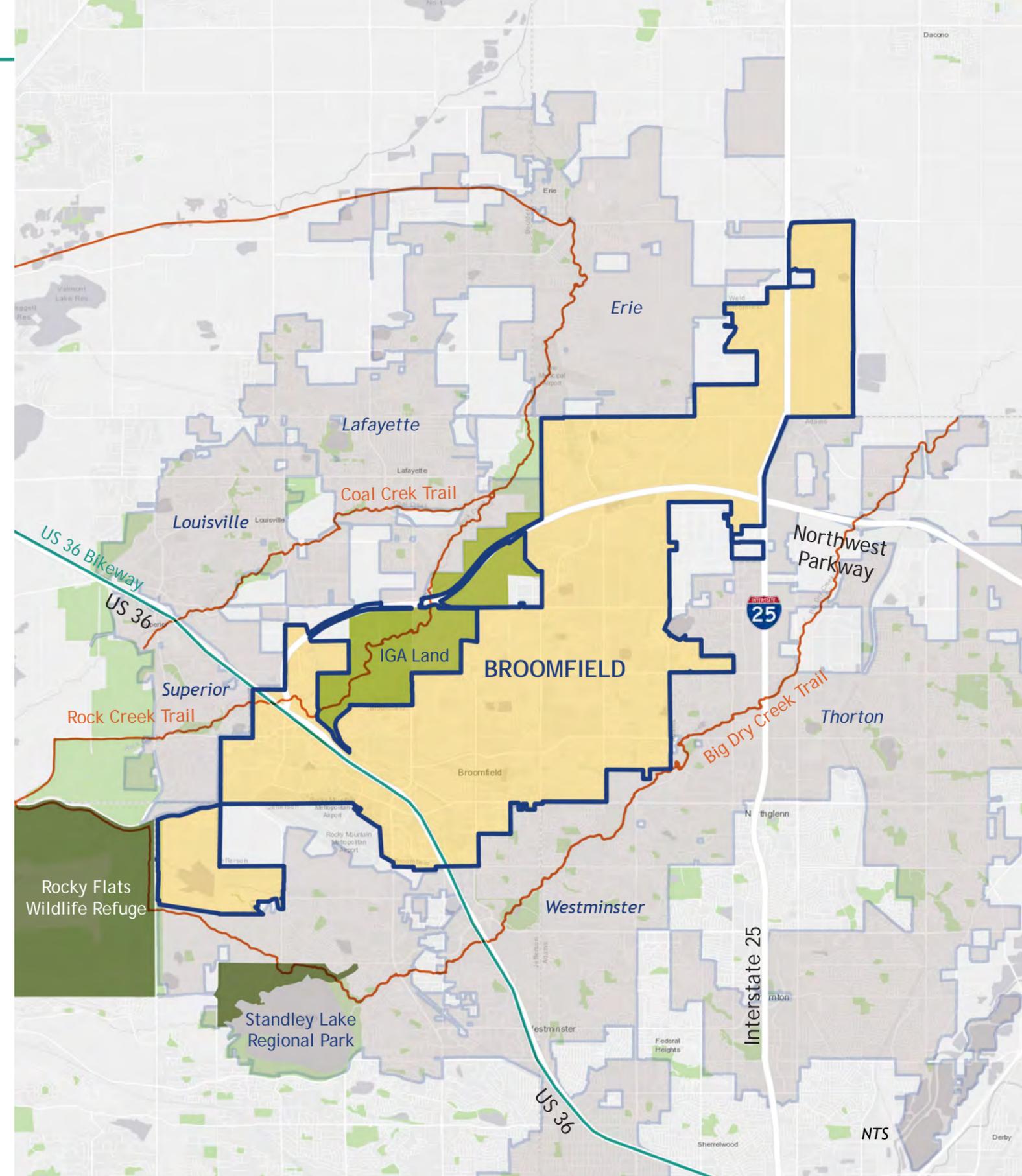
This wildlife refuge is 5,237 acres in size and located just west of Broomfield. It is an expanse of grasslands, shrublands and wetlands, including rare xeric tallgrass prairie, where natural processes support a broad range of native wildlife. The refuge conserves the unique biotic communities and sustains wildlife populations at the interface of mountains and prairies on Colorado's Front Range. The refuge features 10 miles of year-round trails for hiking, wildlife viewing, photography, hiking, bicycling, cross country skiing, snowshoeing, and horseback riding. Since 2007, the U.S. Fish and Wildlife Service has been managing the site to restore and preserve the native prairie ecosystems, provide habitat for migratory and resident wildlife, and provide research and education opportunities.

US 36 Bikeway

The US 36 Bikeway is a 16-mile long trail that provides a multi-modal route for traveling between Denver and Boulder. It runs through Broomfield and connects to several major Open Spaces and trail networks of the region.

Adjacent Municipalities

In addition to these specific resources, municipalities adjacent to Broomfield have planned and developed trail systems and Open Space corridors that offer linkages to the system of Parks, trails and Open Space in Broomfield. By continuing to coordinate with these communities, Broomfield has the opportunity to extend and enhance its system for the benefit of area residents.



Map 1: Regional Facilities Exhibit

2.2 OPEN LANDS DEFINED

Open Lands are defined as public and private lands acquired or preserved in the public interest for Parks and Open Space uses. They serve a variety of functions, including conserving and protecting natural, cultural, historic, agricultural, and scenic resources; providing opportunities for recreation; and shaping the pattern of growth and development.

“Open Lands” is an umbrella concept that encompasses three key designations: Parks and Recreation Areas, Open Space, and Other Open Lands.

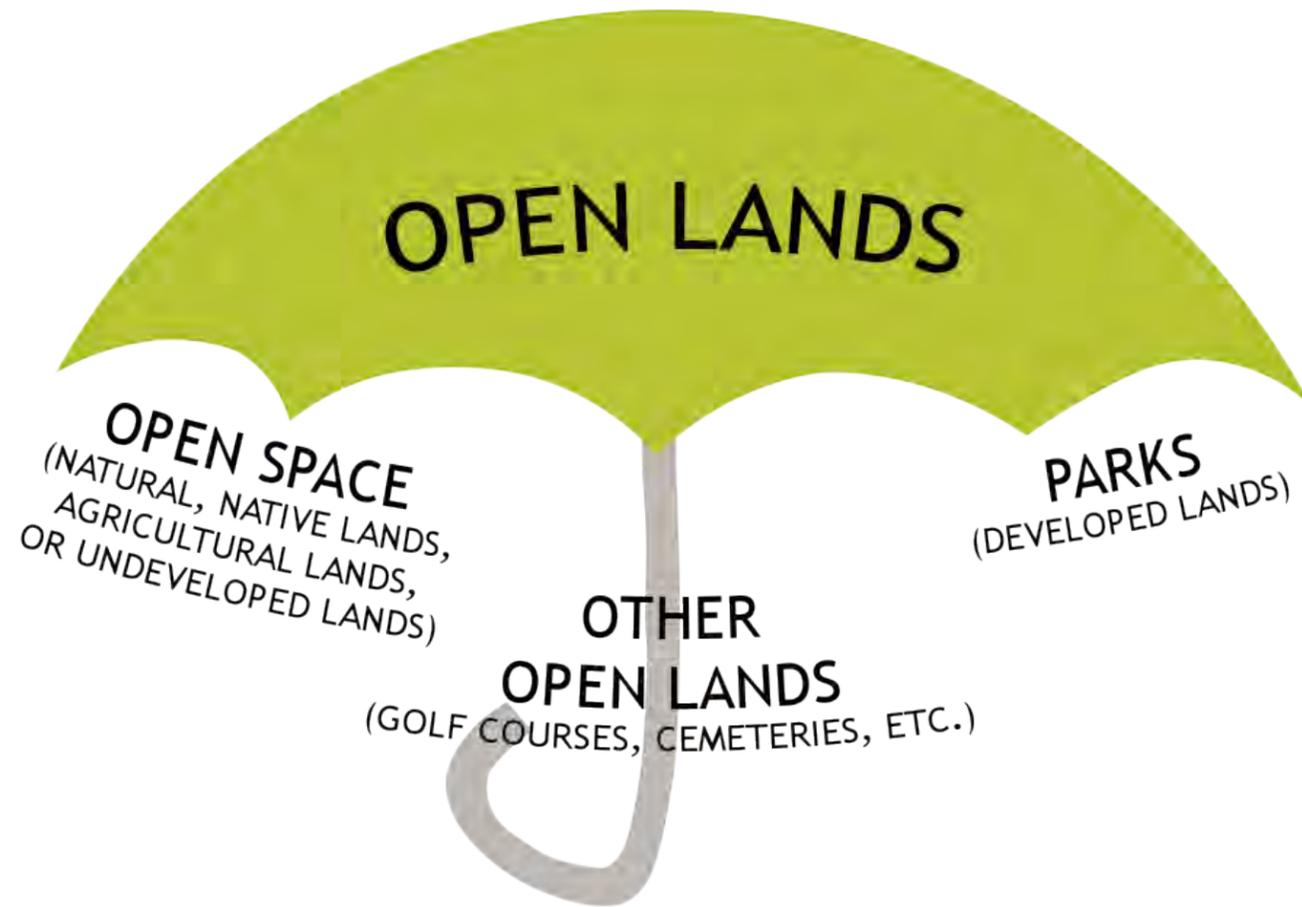


Figure 2: Open Lands Umbrella

Parks and Recreation Areas

Parks and Recreation areas are the most intensely developed and used types of Open Lands. They may contain open turf areas that may or may not be irrigated for passive recreation, active recreation playing fields, hard courts, picnic areas, restroom facilities, and other improvements.

Open Space

Open Space means a parcel of land intentionally protected from development and/or set aside for unstructured, passive recreation and the appreciation of natural surroundings. Open Space may contain but is not limited to trailheads and trails, waterbodies, wetlands, wildlife viewing areas, agricultural lands, fishing facilities, and other facilities that support uses compatible with site resources and conditions. Open Space is deemed to be in use for a public purpose.

Other Open Lands

Other Open Lands may exhibit qualities of Open Space or Parks. Other Open Lands do not fit precisely into either the definition of Parks or Open Space. Examples of Other Open Lands include areas such as golf courses, cemeteries, landscaped trail corridors, or landscaped areas that are not necessarily a formal Park or Open Space.

2.3 EXISTING OPEN LANDS

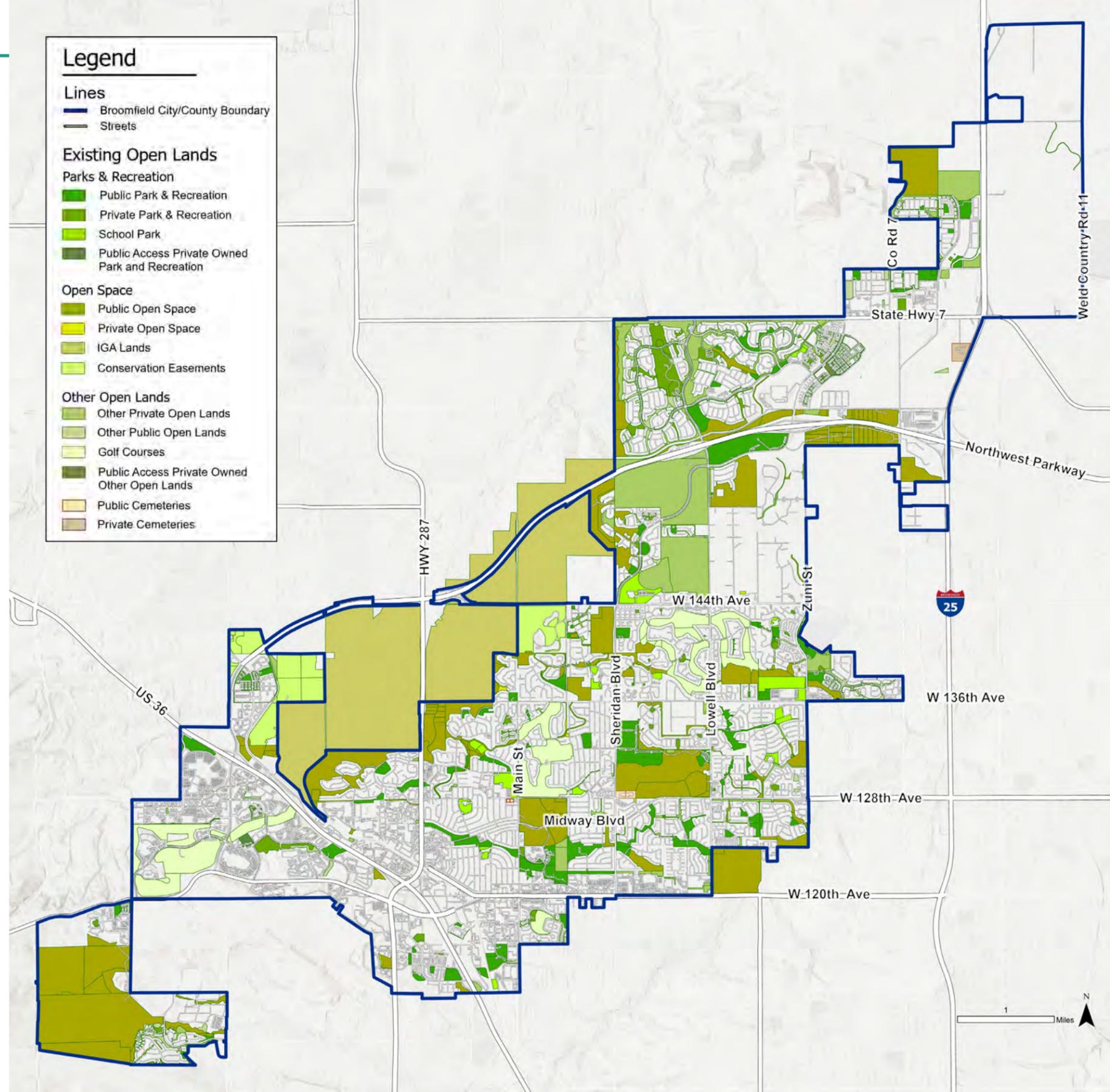
Existing public and private Open Lands currently encompass approximately 8,607 acres, or 36% of the community's defined Planning Area.

The Planning Area is a total of 23,887 acres in size and includes the City and County boundaries plus the lands covered under the Broomfield/Boulder County IGA. Map 2 shows where the different categories of Open Lands are located throughout Broomfield. Figure 3 shows the different existing Open Lands by type and their acreage.

OPEN LANDS CATEGORY	ACRES	~% OF TOTAL
PARKS AND RECREATION	1,163	(14%)
OPEN SPACE	5,465	(63%)
OTHER OPEN LANDS	1,979	(23%)

OPEN LANDS CATEGORY	SIZE (ACRES)	~% OF TOTAL
PARKS AND RECREATION	1,163	14%
Public Parks and Recreation	778	9%
Private Parks and Recreation	202	3%
School Parks	175	2%
Public Access Private Owned Park and Recreation	8	0.1%
OPEN SPACE	5,465	63%
Public Open Space	2,665	31%
Private Open Space	11	0.1%
IGA Lands	2,421	28%
Conservation Easement	368	4%
OTHER OPEN LANDS	1,979	23%
Other Private Open Lands	201	3%
Other Public Open Lands	1,068	12%
Public Access Private Owned Other Open Lands	11	0.1%
Golf Courses	668	8%
Public Cemeteries	12	0.1%
Private Cemeteries	19	0.2%
TOTAL OPEN LANDS	8,607 (ACRES)	100%

Figure 3: Existing Open Lands Table



Map 2: Existing Open Lands Map

Parks and Recreation Facilities

Broomfield provides approximately 13.8 acres of Park land for each 1,000 residents, which is under the previous OSPRT 2005 Plan Goal of 16 acres per 1,000. This level of service is generally considered greater than other municipalities such as the Cities of Thornton, Longmont, Wheatridge, and Fort Collins.

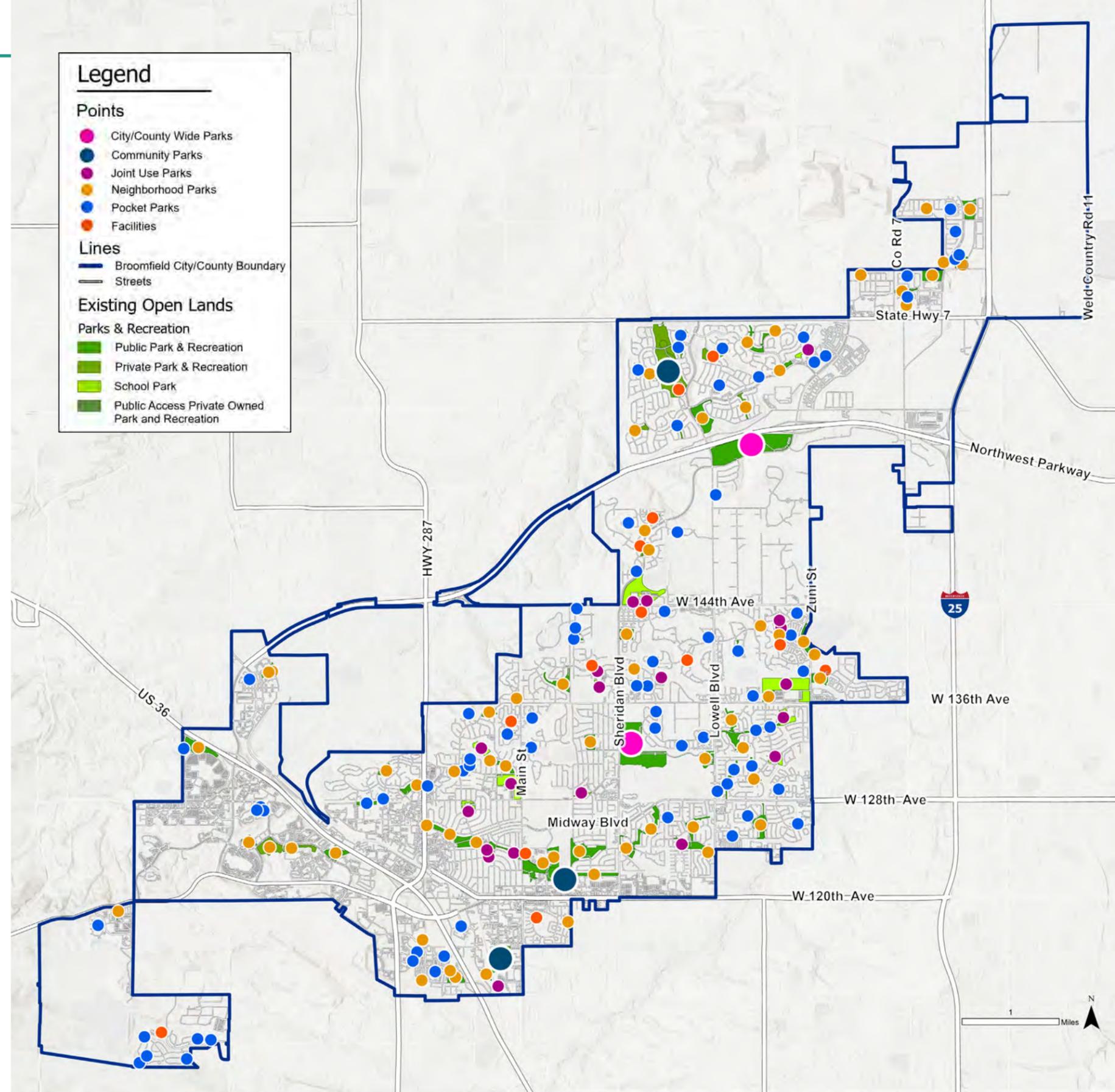
It is noted that each municipality or agency defines “Parks” and calculates level of service differently. This level of service comparison was inferred from each municipality’s existing Parks plans as of 2023.

Broomfield’s existing Parks have developed over the last five decades as the community has grown from a small town to a vibrant city and county. Broomfield has also established formal joint-use agreements with the Adams Twelve School District, Boulder Valley School District, and Jefferson Academy to use indoor and outdoor athletic courts and playing fields.

Broomfield currently has five Park types documented in the Park system: Pocket Parks, Neighborhood Parks, Community Parks, Joint School Parks, and City/County Parks. Each Park type has a different design standard and purpose. Recreation Facilities (Facilities) are also documented. Map 3 shows the location of these existing Park types and Figure 4 shows the number of each type and total combined acreage associated with each Park type.

PARK TYPE	NO. OF PARKS	COMBINED SIZE (ACRES)
 POCKET PARKS	75	103
 NEIGHBORHOOD PARKS	63	496
 COMMUNITY PARKS	3	135
 JOINT SCHOOL PARKS	20	188
 CITY/COUNTY PARKS	2	180
 FACILITIES	13	53
TOTAL PARK LANDS	176	1,155 ACRES

Figure 4: Existing Park Types Data



Map 3: Existing Parks Map

City/County Parks

1 Anthem Community Park

Anthem Community Park is located in the north part of Broomfield. Phases 1 and 2 are complete. Phase 1 and 2 includes the Siena Reservoir, trails, a large shelter, permanent restrooms, a barbecue grill, soccer fields, and a medium-sized parking lot. Asphalt bike pump track, mountain bike skills course, pavilion, and additional parking are to the east. Phase 3 will include parking, a concrete trail, shade structures and canopy structures, ball fields, concessions, restrooms, and other gathering areas. A pedestrian bridge connecting the new Park (east) to the existing Park (west) is being planned along with improvements to the existing Northwest Parkway pedestrian underpass. The Broomfield Trail is now built along the east side of Community Ditch.

2 Broomfield County Commons Park

Broomfield County Commons is a City/County Wide Park that features the Paul Derda Recreation Center, County Commons Cemetery, and a large sports complex. The Park features 15 playing fields, including soccer, two playgrounds, a pavilion, and five picnic huts. The site's artificial turf Championship Field is truly a field of dreams for many in the recreational sports community. There is also a dog park and extensive parking areas for special recreation events.

Public Community Parks

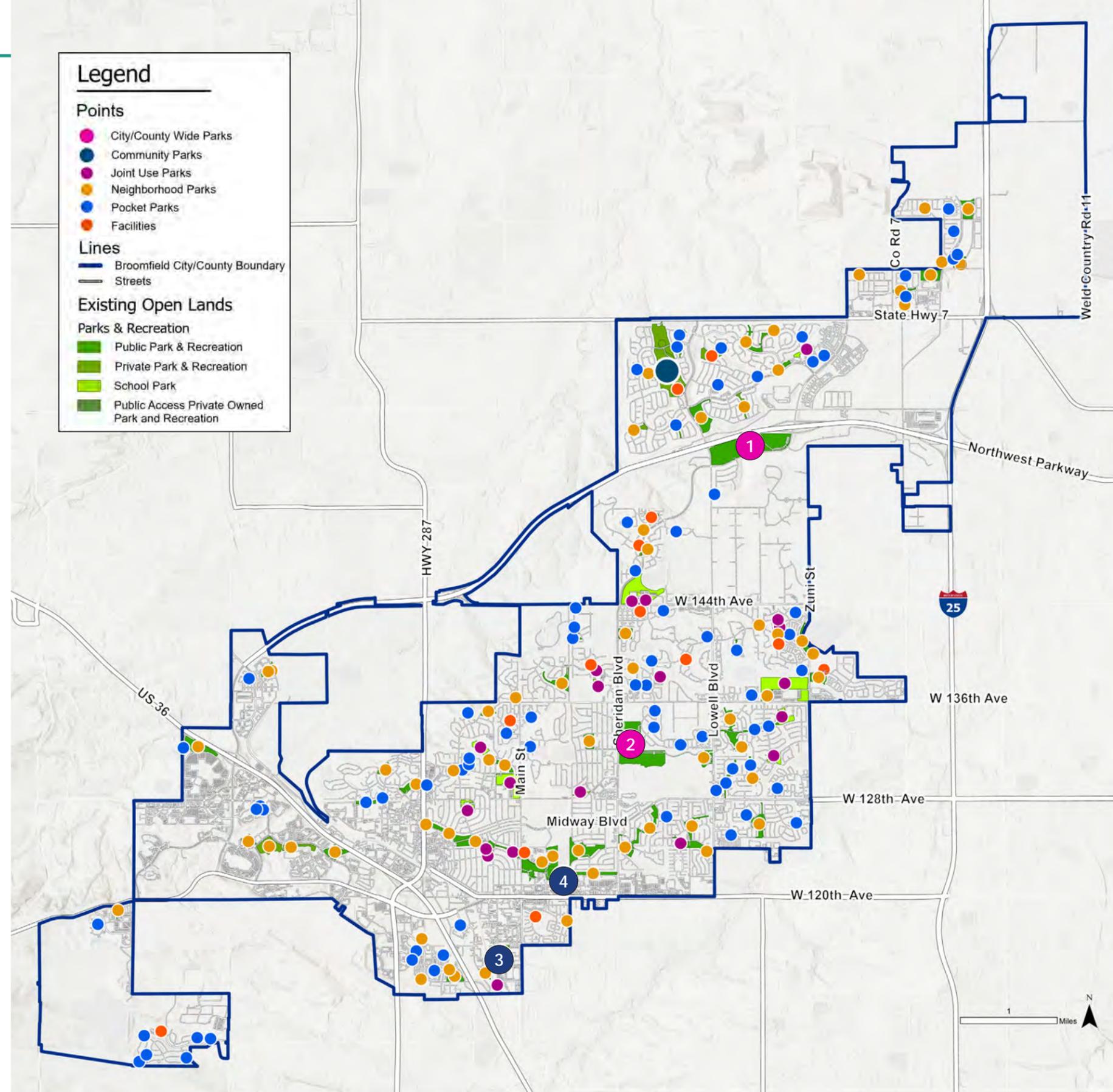
3 Broomfield Industrial Park

Broomfield Industrial Park is located in the southern portion of Broomfield. This Park features three dedicated pickleball courts, a basketball court, a baseball field, an inline skate rink, a miniature Rockies field, parking, open lawn areas, picnic tables, a playground, shelters, permanent restrooms, and a softball field.

4 Broomfield Community Park

Broomfield Community Park is one of the most programmed Parks in Broomfield with a plethora of civic oriented spaces and uses. It is home to the Broomfield Community Center, the George Di Ciero City and County Building, Library and Auditorium, the Broomfield Amphitheater, and the Police and Courts Building. This is also the home of the tree lighting ceremony, which occurs in front of the Broomfield City and County Building.

The Park also includes the Broomfield Ball Fields, The Bay Aquatic Park, four playgrounds, lighted sports fields, a swimming pool, skate park, batting cages, an inline skate park, open lawn areas, shelters, picnic tables, tennis courts, trails, and extensive parking areas. This Park is planned to be integrated into the Broomfield Town Square project to create an enhanced civic and activity center for the community.



Map 4: Existing Parks Map - City/County Wide and Community Park Locations

Recreation Facilities

Broomfield Community Center

The Broomfield Community Center is 98,000 square-feet and opened in 2020. It replaced a smaller facility in the same location that originally opened in 1974 and was renovated in 1990. This 2020 facility includes:

- 9 Lane Competition Cold Pool
- 6 Lane Warm Pool
- Hot Tub
- Therapy Pool
- 6 Cabanas
- Locker Rooms
- Drop in Weight & Cardio Areas
- Personal Training Studio
- Fitness Terrace
- Two Fitness Studios
- Indoor Walking Track
- Two Full-Size Basketball Courts (Gym Schedule)
- Lakeshore Banquet Room
- Lakeshore Terrace
- Fireside Lounge
- Prefunction Banquet Area
- Full Size Kitchen
- Woodshop
- Pottery/Creative Space
- Conference Room with Reservable Terrace Attached
- 6 Meeting Rooms of varying sizes and configurations
- Preschool



Broomfield Community Center



Broomfield Community Center

Paul Derda Recreation Center

The Paul Derda Recreation Center is 85,000 square-feet and opened in November 2003. This facility includes:

- A large leisure pool with a tube slide and body slides, a zero depth beach, a family whirlpool, current channel, three lap lanes, and water features
- An outdoor water feature
- An indoor playground for toddlers and young children
- Two aerobics/dance studios
- An indoor running track
- Several fitness areas including cardiovascular and weight lifting areas
- A gymnasium
- A gymnastics center
- One child sitting room
- One tot activity room
- An outdoor tot lot playground
- Party rooms, a conference room and a lounge area
- A Preschool



Paul Derda Recreation Center

The Bay

The Bay, Broomfield's outdoor aquatic facility, is located adjacent to the Broomfield Community Center. This facility caters to the needs of families and children 13 years and younger. This facility provides two water slides, a leisure pool with zero-depth entry, an interactive water play structure, an inner tube slide and a tot pool with slides and a waterfall.



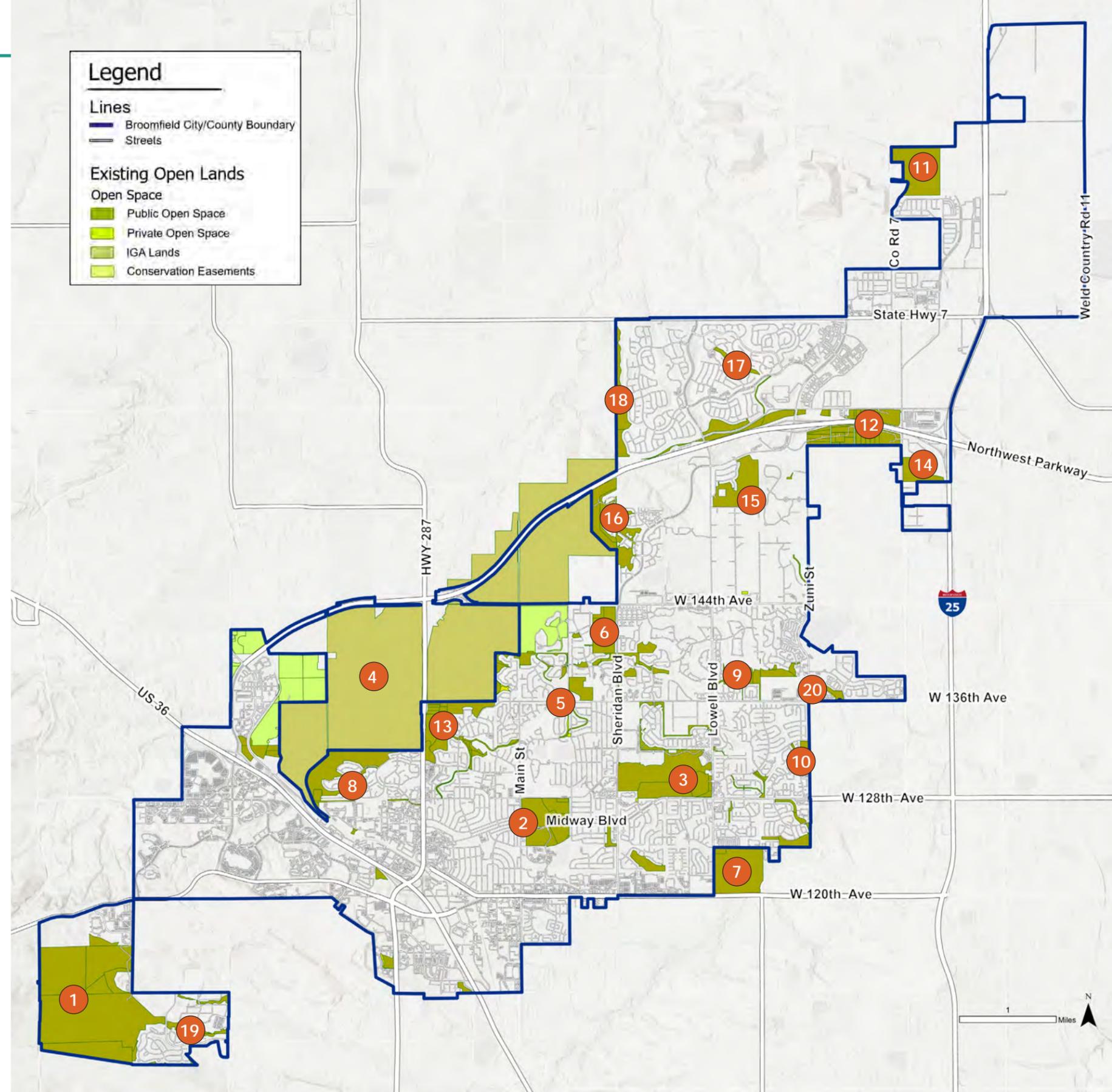
The Bay Aquatic Park

Open Space

Broomfield's existing Open Space presently encompasses 5,465 acres.

The publicly owned major Open Spaces are larger, well known properties. The location of these Open Space areas are listed below and can be seen on Map 5.

- 1 Great Western Reservoir
- 2 The Field Open Space
- 3 Broomfield County Commons Open Space
- 4 Boulder / Broomfield Intergovernmental Agreement (IGA) Joint Open Space
- 5 Markel Open Space
- 6 Wottge Open Space
- 7 Metzger Farm Open Space
- 8 Lac Amora Open Space and Josh's Pond
- 9 Plaster Reservoir
- 10 Alexx and Michael's Pond
- 11 Harmer Open Space
- 12 Nordstrom/Davis Open Space
- 13 Ridgeview Open Space
- 14 Huron Open Space
- 15 Anthem Hilltop Open Space
- 16 Wildgrass Open Space
- 17 Anthem Highlands Open Space
- 18 Anthem Ranch Open Space
- 19 Walnut Creek Open Space
- 20 Quail Creek Open Space



Major Open Spaces

1 Great Western Reservoir

This area encompasses over 750 acres and supports nesting and migrating waterbirds. Great Western Reservoir's open water in an otherwise dry environment contributes substantially to the wildlife value of the area. The northern portion of the site is designated as a prairie dog relocation site.

2 The Field Open Space

This area includes just over 115 acres, including the historic Brunner Farmhouse and Ellie's Pond that is named after one of the key founders of Broomfield's Open Space, trails, and wildlife initiatives. An existing plan for this area calls for the agricultural land to be converted to native grasses with trails, picnic areas, overlooks, a native plant arboretum, and a trailhead, over a period of time.

This site represents that first Open Space Broomfield purchased. In the mid-1990's, residents organized and energized a grassroots movement to protect this site from development with the cry, "Keep the Field in Broomfield." Their actions also helped to create the Open Space and Parks Sales and Use Tax to fund future acquisitions. These resident efforts also spurred the acquisition of Broomfield County Commons for both Park and Open Space purposes.

3 Broomfield County Commons Open Space

This area encompasses 237 acres and includes trails, Le Gault and Tom Frost Reservoirs, a wildlife viewing deck, and two public art sculptures. Le Gault Reservoir includes a small wetland complex, while Tom Frost provides riparian habitat and is also used for public fishing.

There is also a prairie dog preserve on-site and irrigation ditches that flow through the property. This mix of habitat provides abundant resources for wildlife, including many raptor species, that can often be spotted on the property.

4 Boulder / Broomfield Intergovernmental Agreement (IGA) Joint Open Space

The IGA Land is 2,422 acres in size and is protected by conservation easements. It contains properties such as the Carolyn Holmberg Preserve at Rock Creek Farms and the Ruth Robert Open Space. The Regional Rock Creek Trail runs through these properties and also connects to Stearns Lake. The lake and large Open Space area provides resources and habitat for wildlife, often including a nesting pair of Bald Eagles.



Biking in Broomfield County Commons Open Space
(broomfieldopenspacefoundation.org)

5 Markel Open Space

This area is 32 acres in size and has a pond that the Markel Family had built around the time they bought the property. The pond is lined with tall cottonwoods that provide shade and beautiful colors in the fall. This land supports one of Broomfield's goals of having integrated Open Space within the community for everyone to enjoy without having to drive long distances.

6 Wottge Open Space

This 66-acre property has several large cottonwood trees that have been home to a great horned owl nest in past years. The expansive field provides habitat for a number of bird and small mammal species, as well as a migration corridor for wildlife. Broomfield Open Space and Trails purchased this land from the Wottge family in 2003 to maintain views of the mountains as well as preserve a piece of land that connects Broomfield to its agricultural history. Wottge Open Space will also eventually provide a looped trail that will connect Aspen Creek and Dillon Point to the Broomfield Trail. This site will also eventually be converted to native grasses as timing and budget allow.

7 Metzger Farm Open Space

This 152-acre property is in the city of Westminster though it is bordered by Broomfield on its north and west sides. The property was purchased jointly by Broomfield and Westminster. The Broomfield-Westminster Open Space Foundation was established by the two governmental entities to oversee the management of Metzger Farm. The site includes a fishing dock, a wildlife viewing deck, trails, and a farmstead that is designated on the National Register of Historic Places. The east pond on the property provides ample opportunities for fishing by both humans and birds alike; Cormorants, a heron rookery, and great blue herons are often seen around the pond.

8 Lac Amora Open Space and Josh's Pond

Located at the base of a hill overlooking the Front Range, Josh's Pond is named in memory of Josh Cassell. This pond is stocked with fish and is home to a variety of wildlife. A trail circles the pond and connects to the Lake Link Trail. A picnic pavilion, public art sculpture, and fishing dock are other amenities at this picturesque site. In 1977, the Lac Amora Open Space became the first dedicated Open Space property by the private sector to Broomfield.

9 Plaster Reservoir

This reservoir is a key feature of Broomfield's Open Space. It is located within the Quail Creek Drainage Basin and is adjacent to the Broadlands Golf Course. The reservoir provides stormwater detention and wildlife habitat, and is located along the Lake Link Trail. It also provides aesthetic value to the surrounding neighborhoods and golf course patrons. A wildlife viewing deck serves as a popular nature education location in the southeast corner of the reservoir. It also provides a quiet space to enjoy the many birds that frequent this area.

10 Alexx and Michael's Pond

This pond and Open Space area is located along Zuni Street and the Southeast Community Loop Trail. It is a fishing destination and home to a variety of wildlife.

This site abuts the Front Range Mobile Community and Westlake neighborhoods. This site is named in honor of two Centennial Elementary School students, Alexx Spademan and Michael Otto who passed away from rare childhood illnesses. This site is used by Centennial Elementary school children for outdoor education purposes.

11 Harmer Open Space

This 132-acre property is located east of County Road 7 and south of County Road 6. It has many great opportunities for trails and has scenic views of the Front Range. Community Ditch runs along the west side of the property and a stand of mature cottonwoods line an irrigation ditch on the south side of the Open Space adjacent to the Palisade neighborhood. A plan for the site is proposed in the coming years to allow for trails and other amenities. The site is currently farmed. Huron Street and Sheridan Boulevard may eventually extend through this site. However, similar to the Field, trails and open space amenities will be designed to accommodate this possibility.

12 Nordstrom/Davis Open Space

This area is comprised of two properties: the Nordstrom property and the Davis Property. The properties are located between Zuni Street and Huron Street and are bisected by the Northwest Parkway.

The sites are currently farmed. Three oil and gas well pads are on the property. Eventually, a trail will extend from Sheridan Blvd. to Huron Street through these two properties. In 1999, Cleo Nordstrom agreed to sell approximately 90 plus acres to Broomfield over six years. In 2004, Earl and Sandy Davis agreed to sell close to 60 acres of their farm over a 9-year period to Broomfield. Both families graciously cooperated with Broomfield to accommodate the Northwest Parkway Intergovernmental Agreement provision to line the Parkway with Open Space and to augment the early creation of Broomfield's Open Space land holdings.

13 Ridgeview Open Space

This site was originally slated for commercial development along US 287 and residential use along the east side of the parcel. In 1999, Broomfield entered into a multi-year option agreement to purchase the approximately 78-acre property. The Lake Link Trail winds through this site from Miramonte Boulevard to Crystal Pines and the Outlook neighborhood. Broomfield received a Great Outdoors Colorado grant for the purchase and also received a financial contribution from Boulder County to preserve this land.

14 Huron Open Space

This 40-acre site was provided by Extraction aka Civitas to Broomfield as part of the compensation package for the use of the Davis and Nordstrom Open Spaces for three oil and gas well pads. A small pond is located on the east end of the site. The west side of the site abuts the east side of Huron Street and the east side of the site abuts I-25. A stand of cottonwoods along Huron Street frequently provides a nesting site for raptors.

15 Anthem Hilltop Open Space

This site includes approximately 97 acres and has a winding crusher fines trail, hilltop overlook, and a trailhead just off of Lowell Boulevard and King Court.

16 Wildgrass Open Space

This site is approximately 107 acres and is situated west of Sheridan Boulevard between the Wildgrass neighborhood and Boulder County Open Space. It includes a series of trails and a pond.

17 Anthem Highlands Open Space

This 15-acre site includes a trail and pond with native shrubs and trees that provide habitat for many types of birds. When this area was proposed for development, the Open Space and Trails Advisory Committee visited the site with the developer's design team and saw an eagle fly out of the tree at the pond. This experience confirmed that the area was worthy of preservation.

18 Anthem Ranch Open Space

The site provides an Open Space buffer along the west side of Anthem Ranch and abuts Boulder County Open Space. A prairie dog colony inhabits the southern end of the site and trails connect to the Coal Creek Trail and the State Highway 7 trail.

19 Walnut Creek Open Space

Walnut Creek winds along the north edge of the Skyestone neighborhood and includes large cottonwoods that shade the concrete trail that loops around the residential area.

20 Quail Creek Open Space

This approximately 13-acre site includes trail connections along Quail Creek to Quail Park, the Lambertson Farms neighborhood, the Shops at Quail Creek and an underpass into Westminster. A pond provides wildlife habitat.



Josh's Pond in the Fall

Other Open Lands

There are an estimated 1,979 acres of Other Open Lands in Broomfield.

Examples of Other Open Lands include golf courses, cemeteries, and lands conveyed by dedication but maintained by Homeowners' Associations. The location of these Other Open Lands can be seen on Map 6. Some examples of Other Open Lands are listed below:

1 The Broadlands Golf Course

The Broadlands is an 18-hole course in the heart of Broomfield. This Par 72 course offers challenging play for golfers at every skill level.

2 Eagle Trace Golf Club

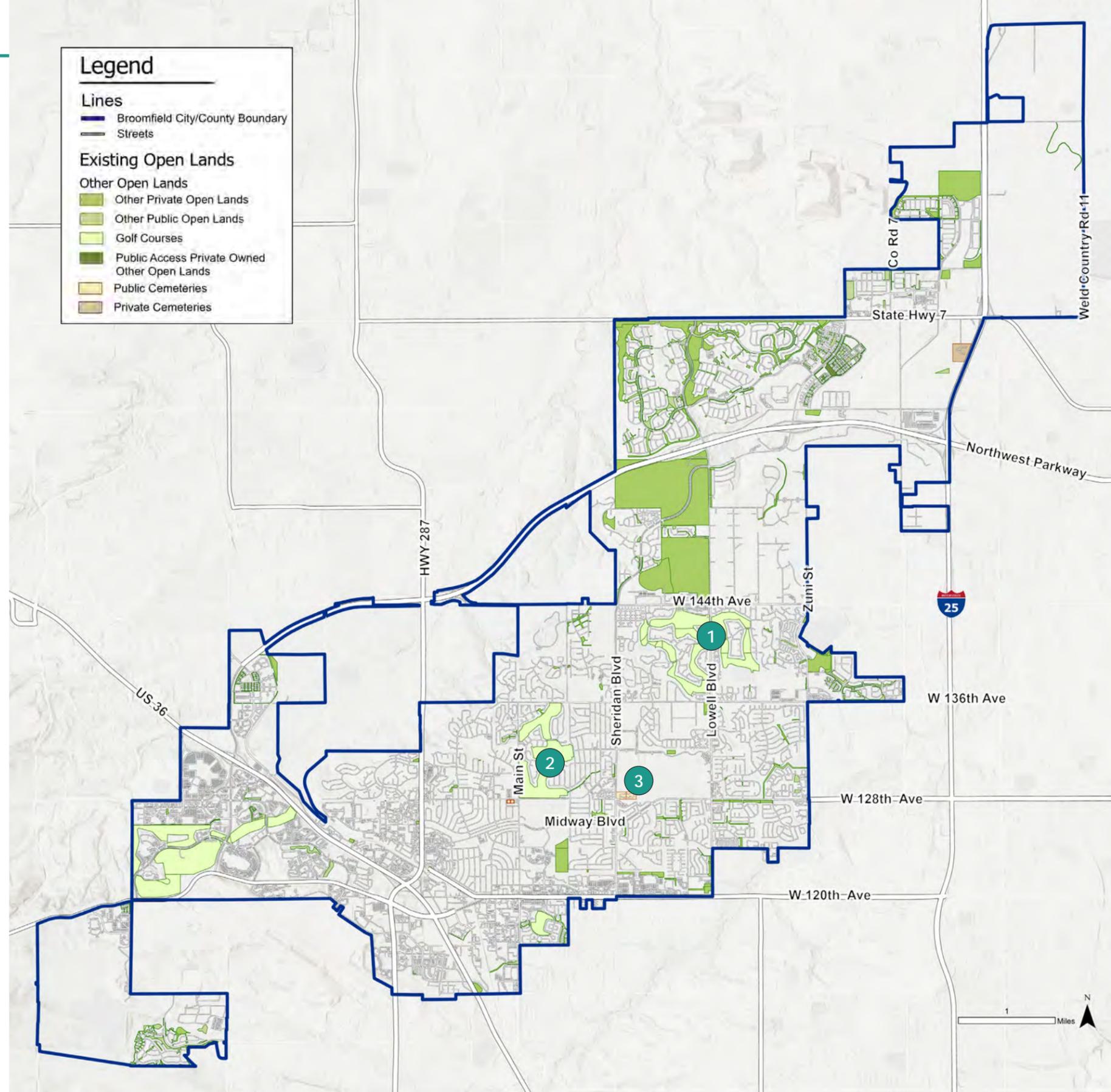
Eagle Trace is an 18-hole course designed by Dick Phelps and features 5 large lakes and a challenging but fair course design. The Nissen Reservoir is also located on this site.

3 Broomfield County Commons Cemetery

Broomfield County Commons Cemetery is located on the East side of Sheridan Boulevard at 9th Avenue and is part of the Broomfield County Commons Park and Open Space total public area. The spectacular views of the Front Range mountains to the west and of the Open Space to the north and east, along with tasteful landscaping, bring peace and tranquility to the County Commons Cemetery.



Broadlands Golf Course



Map 6: Existing Other Open Lands Map

2.4 TRAILS

Broomfield's Trail Network

Broomfield has over 350 miles of trails that are generally divided into the following categories:

Multi-Use Paths: 115 Miles

Concrete trails within Open Lands that are at least 8-feet wide and sometimes include an adjacent soft-surface trail.

Soft-Surface Trails: 30 Miles

Gravel or 'crusher fines' trails.

Detached 8-Foot or Wider Sidewalks: 109 Miles

Sidewalks that are detached from the street and are at least 8-feet wide.

On-Street Bike Lanes: 96 Miles

Divided lanes that are painted on the street for use by cyclists.

Figure 5 is in reference to Broomfield's 2021 Trail Map. This map is updated periodically. Please visit Broomfield.org for more information.

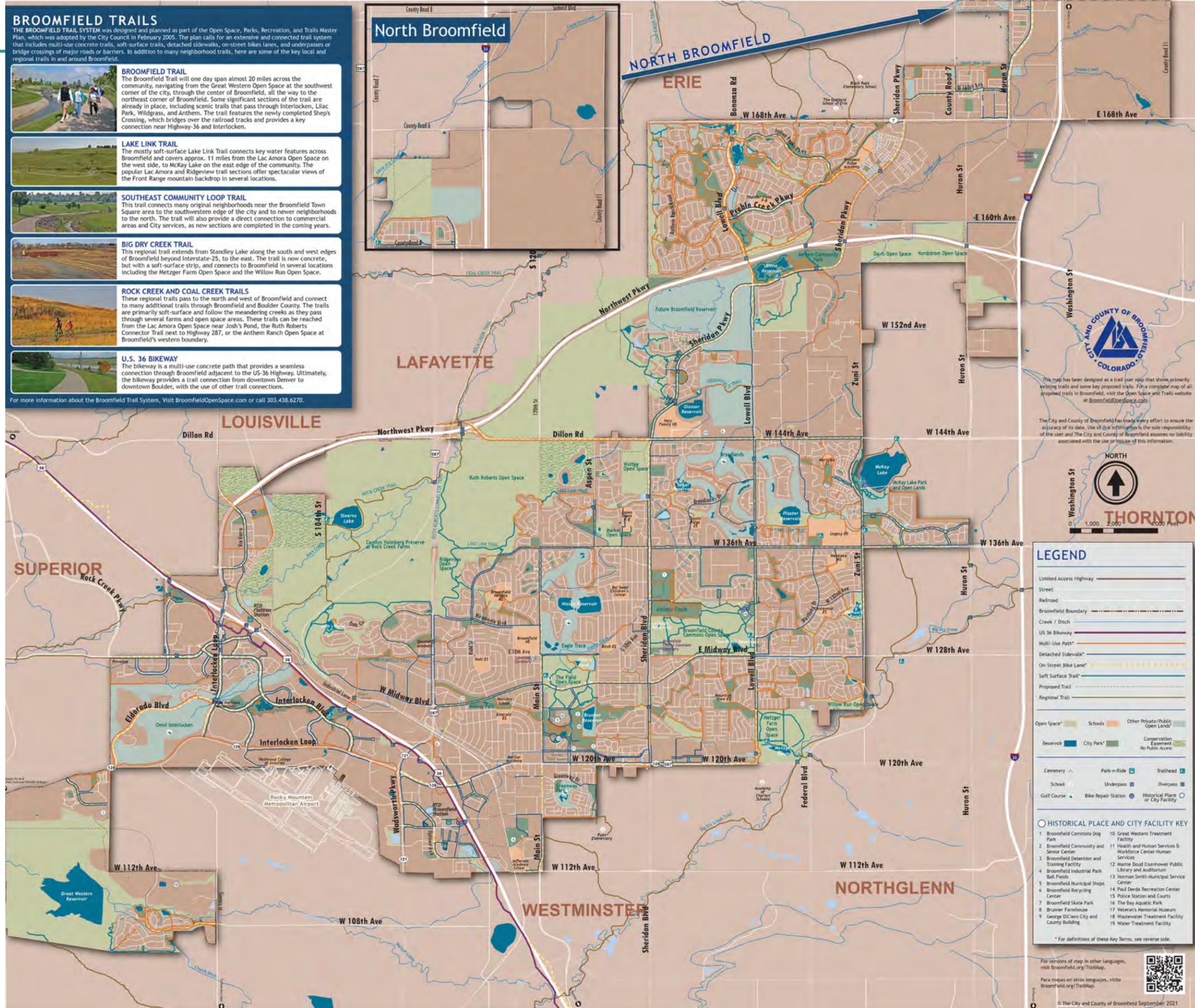


Figure 5: City and County of Broomfield Trail Map

Broomfield's Ultimate Major Trails

Broomfield has several major trails that are planned to connect the community to major destinations. Some of these major trails have been finished such as the US 36 Bikeway and Lake Link Trail. Other major trails have some key segments built but missing links remain. Once these missing links are completed, the trail system will provide an integrated system that stretches throughout Broomfield and also connects to adjacent community/regional trails. The location of these trail are listed below and can be seen on Map 7.

MAJOR TRAILS

US 36 BIKEWAY

This bikeway is a multi-use concrete path that provides a seamless connection through Broomfield adjacent to the US-36 Highway.

REGIONAL TRAILS (BIG DRY CREEK, ROCK CREEK, AND COAL CREEK TRAILS)

These Regional Trails extend from Standley Lake along the south and west edges of Broomfield beyond Interstate-25, to the east. They also pass to the north and west of Broomfield and connect to many additional trails through Broomfield and Boulder County.

BROOMFIELD TRAIL

This trail will one day span over 20 miles across the community, navigating the Great Western Reservoir at the southwest corner of the City, through central Broomfield, all the way to the northeast corner of Broomfield.

NORTHWEST PARKWAY TRAIL

This future trail follows the Northwest Parkway roadway and connects the west side of Broomfield to the east side near Interstate-25.

LAKE LINK TRAIL

This trail is mostly a soft-surface trail that connects key water features across Broomfield and covers approximately 11 miles from the Lac Amora Open Space on the west side, to McKay Lake on the east edge of Broomfield.

SOUTHEAST COMMUNITY LOOP TRAIL

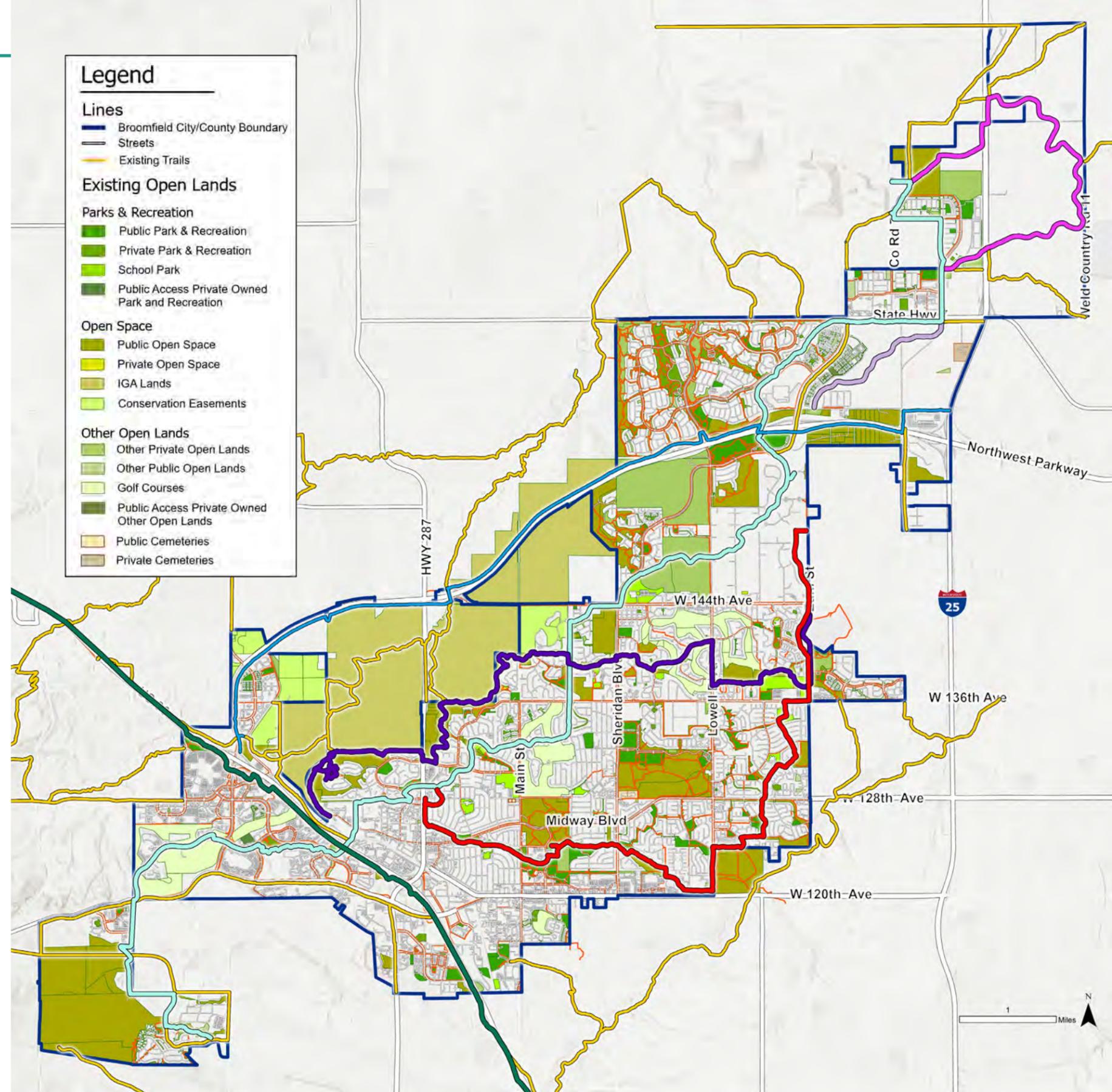
This trail connects many original neighborhoods near the Broomfield Town Square area to the southwestern edge of the City and to newer neighborhoods to the north.

NORTH BROOMFIELD LOOP TRAIL

This future trail connects many of the northern communities together and ultimately provides connections to the Larger Broomfield Trail.

BASELINE NEIGHBORHOOD TRAIL

This future neighborhood trail runs through the Baseline community on the northern part of Broomfield. It will provide critical linages to the larger trail system of Broomfield.



Map 7: Major Trails Map

2.5 SIGNIFICANT NATURAL FEATURES

Background

Broomfield completed an Ecological Assessment of wildlife and Open Space in 1992 which has been the basis for evaluating and understanding environmentally significant features. The study examined underlying natural features, like drainage and topography, as well as wildlife quality habitat, landscape value, and wetlands at 53 sites.

Updated in 2002, the Ecological Assessment reevaluated the condition of sites that had not been developed in the intervening 10 years and added an additional 21 sites and properties that were acquired through annexation when Broomfield became a county. These assessments examined water bodies and waterways, areas of native vegetation, and wildlife habitats by ranking sites from high to low on a resource value-based scale, indicating the quality of these natural features. Through this process, Broomfield was able to identify high quality sites that were candidates for potential future acquisition.

Ecological Assessment Process Updates

The ecological assessment process is a critical component in preserving and understanding the natural resource value of these remaining properties within Broomfield. Criteria for each resource were developed and used as a ranking tool for Broomfield to assess the resource-based value and quality of natural features, from high to low, in previous evaluations. These criteria are still beneficial for long-term planning and management and therefore described below. In addition to these criteria, updated data sources were utilized to understand which areas contain the most valuable natural resources.

More detailed information regarding the assessment process can be found in Appendix C.

Ecological Assessment Mapping

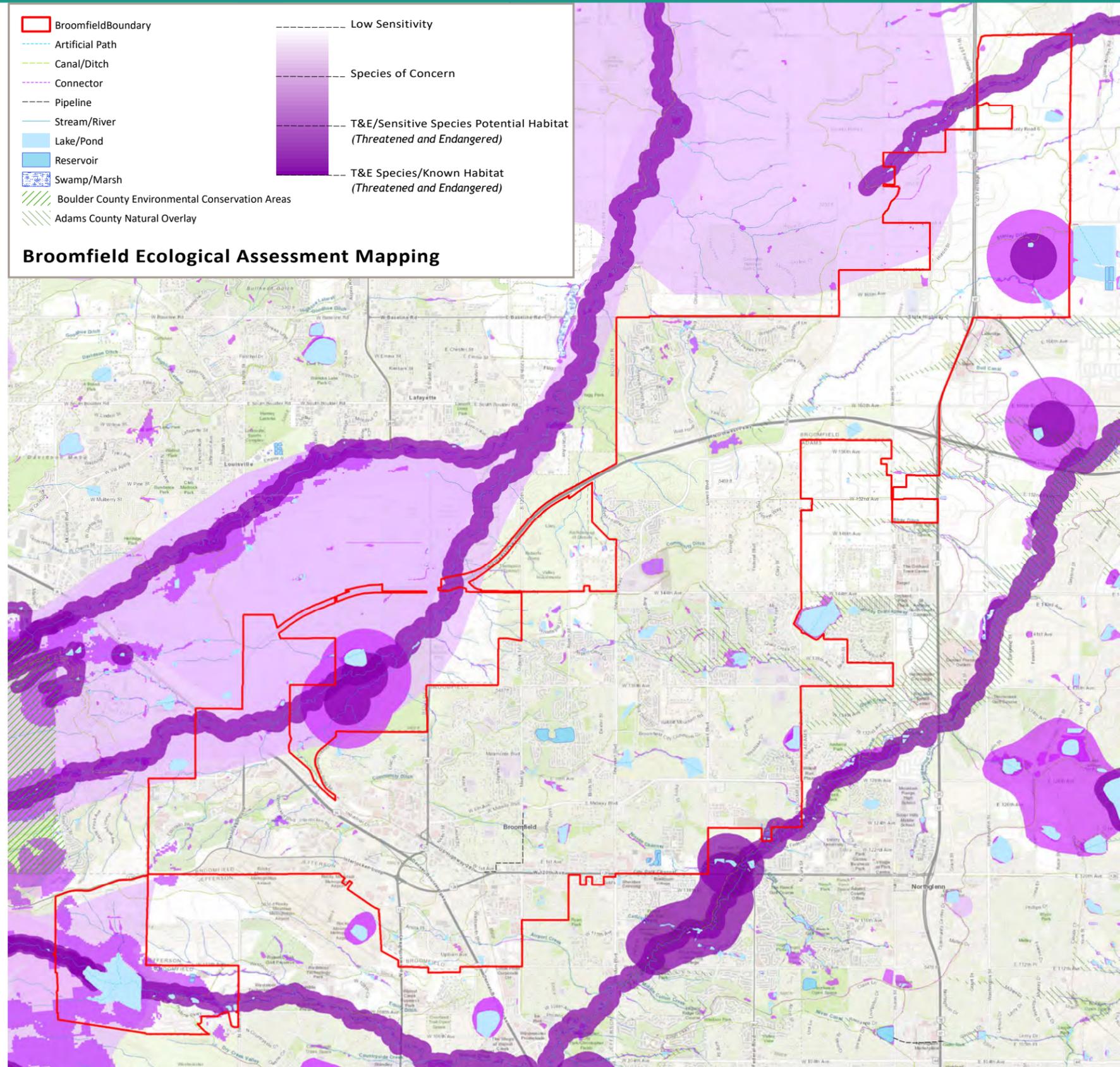
This assessment documents the existing areas of ecological significance within Broomfield. The map uses shades of purple to distinguish these areas. Generally, the darker shades are the most sensitive and ecologically significant areas and should be prioritized for protection. Habitat data was categorized into three priority levels (high, medium, and low) based on the level of sensitivity of each habitat type.

These ecological significance rankings were developed by incorporating publicly available habitat information published by:

- Colorado Parks and Wildlife (CPW)
- Colorado Natural Heritage Program (CNHP)
- U.S. Fish and Wildlife Service (USFWS)
- Previous surveys completed by Broomfield of nesting sites for sensitive bird species.
- The Nature Conservancy's (TNC) Resilient Land Mapping Tool

The areas were further analyzed based on their federal listing status, USFWS sensitive designation, CPW importance, NatureServe rank, and State Wildlife Action Plan (SWAP) tier. Boulder County Environmental Conservation areas and Adams County Natural Overlay areas are shown on Map 8 to provide more context to existing regional environmental management strategies.

- High Significance - Existing Threatened and Endangered (T&E) and Sensitive Species Habitat**
Includes known or suspected occupied habitat for federally listed T&E species.
- Medium Significance - Species of Management Concern and Sensitive Habitat**
Includes potential habitat for sensitive species
- Low Significance - Species of Management Concern**
Includes important habitat for species of management concern



Map 8: Ecological Assessment Map

Significant Natural Features

Significant Water Resources in Broomfield

Great Western Reservoir

This area is surrounded by Open Space and there is minimally developed land adjacent to the property. Nearby large trees and wetland vegetation provide an important refuge for sensitive species. The reservoir falls within CNHP's Potential Conservation Area (PCA) for B4: Moderate Biodiversity Significance. West of the reservoir, outside of the City and County of Broomfield boundary, Preble's meadow jumping mouse habitat is present. The City and County of Broomfield is in a Block Clearance Zone. This area should continue as a protected Open Space area without public access given the needs of the wildlife and reservoir protection requirements.

Tom Frost Reservoir

This reservoir is of high value due to the surrounding Open Space, wetland presence, and prairie dog activity. This site hosts the annual Kids' Fishing Derby and provides bird watching opportunities from the nearby trails.

Le Gault Reservoir

Similar to Tom Frost, this reservoir is of high value for its wetland presence and numerous trees that provide perching and nesting sites for raptors and Bald Eagles.

Brunner Reservoir

This water body is used by a variety of waterfowl and provides a prime bird watching site, especially from the deck of the Broomfield Community Center and adjacent trails.

Plaster Reservoir

Plaster Reservoir is of high value due to the extensive wetlands, trees, and Open Space surrounding the reservoir which provide habitat for a number of species. A small deck in the southeast corner of the reservoir is used by the Broomfield Nature Program, an environmental education program for young children, and other wildlife viewers.

Little Dry Creek

This creek is of high value for its quality wildlife habitat for threatened and endangered species.

Walnut Creek

This creek is of high value due to the existing trees and proximity to the Great Western Reservoir.

Rock Creek

This creek is of high value due to its existing trees.

Preble Creek

This creek contains a significant area of high value habitat near the Farmers Reservoir Irrigation Company's Section 35 Reservoir that is located just west of County Road 11 and north of East 168th Avenue.

Other smaller water bodies are present throughout Broomfield which provide high quality habitat. These are generally isolated from other areas of high habitat biodiversity making preservation important even though the sites are not connected to the more significant areas.

Irrigation facilities and drainageways traverse or abut areas of Broomfield including the Dry Creek, Community Ditch, Quail Creek, and Bull Canal. If channel rehabilitation is undertaken, the current resource value of these water resources could be increased significantly. These drainageways may also offer potential for trails and wildlife movement corridors. Partners in this work potentially include groups such as Mile High Flood District, Farmers Reservoir and Irrigation Co. (FRICO) and private developers. For example, Broomfield has partnered with Mile High Flood District to improve flood protection and habitat restoration along Rock Creek and the Nissen Channel in the Country Vista neighborhood. FRICO and Broomfield also have a maintenance and trail agreement that allows for a major trail along Community Ditch that is known as the Broomfield Trail.

Areas of Relatively Natural Prairie Habitat

These include the area south of State Highway 128 and west of the Ridge Subdivision, some of Broomfield County Commons and Lac Amora Open Space as well as corridors along Preble Creek and Little Dry Creek east of I-25.

Areas of Non-Native Grassland with Large Trees for Raptors

These include Walnut Creek east of Great Western Reservoir, the area along Big Dry Creek, Quail Creek south of McKay Lake, Le Gault Reservoir, and the Harmer Open Space agricultural parcels with irrigation ditches or small creeks.

Existing Wetlands For Preservation or Enhancement

These include the northeastern corner of The Field, all of Le Gault Reservoir, a portion of Tom Frost Reservoir, wetlands at Lac Amora, and smaller ponds and drainages such as the Markel Open Space pond.

Areas Supporting Wildlife Habitat and Use

A number of areas have been identified as valuable because they support wildlife habitat and use by multiple species or because they provide connectivity with adjacent Open Lands. Typical wildlife observed in the Broomfield area includes primarily urban species that are able to coexist at some level with human use and development. Typical mammals include the black-tailed prairie dog, desert cottontail, mule deer, raccoon, coyote, gray and red fox, beaver, and muskrat. Small rodents include the prairie vole, meadow vole, deer mouse and western harvest mouse.

Broomfield adheres to the requirements of the Migratory Bird Treaty Act (MBTA) which prohibits the take (including killing, capturing, selling, trading, and transport) of protected migratory bird species without prior authorization by the Department of Interior U.S. Fish and Wildlife Service. Common birds include such ground nesting species as western meadowlarks, horned larks, lark buntings and three species of sparrows. Ferruginous hawks, northern hawks and short-eared owls nest on the ground in open grassy areas, while burrowing owls nest in abandoned prairie dog burrows. Swainson's and red-tailed hawks, golden eagles, great horned owls and long-eared owls have also been observed.

Topography and Views

The major topographic feature of the Broomfield area is a large ridge running from the southwest to the northeast, roughly along the eastern edge of the properties included within the Broomfield/ Boulder County IGA. The ridgeline enters Broomfield County at the Lac Amora Open Space at West Midway Boulevard and Hoyt Street, and then follows the county boundary until W. 152nd Avenue and Sheridan Boulevard, where it continues northeasterly through the proposed Preble Creek development to the intersection of SH 7 and Lowell Boulevard. This ridgeline defines Broomfield's drainage patterns, with the area northwest of the ridgeline draining to Rock Creek, and the area southeast draining to Big Dry Creek. The highest points within the county limits are located in this area, east of Lowell Boulevard and at SH 128 and Indiana. Maintaining an open viewshed allows residents and visitors to enjoy the western view of the mountains.

The Preble's meadow jumping mouse

The Preble's meadow jumping mouse is still listed as having an "occupied range" in Broomfield, though the city and county are under a block clearance from the US Fish and Wildlife Service (USFWS). A block clearance is a zone in which the USFWS has determined that the species in question is no longer likely to exist (USFWS 2016).

AREAS THAT SUPPORT HIGH VALUE WILDLIFE HABITAT AND USE

- QUAIL CREEK CORRIDOR
- BIG DRY CREEK CORRIDOR
- GREAT WESTERN RESERVOIR AND SURROUNDING OPEN LANDS
- ROCK CREEK CORRIDOR
- METZGER FARM RIPARIAN CORRIDOR AND PONDS
- LITTLE DRY CREEK CORRIDOR
- WALNUT CREEK CORRIDOR
- PREBLE CREEK CORRIDOR
- BROOMFIELD COUNTY COMMONS OPEN SPACE

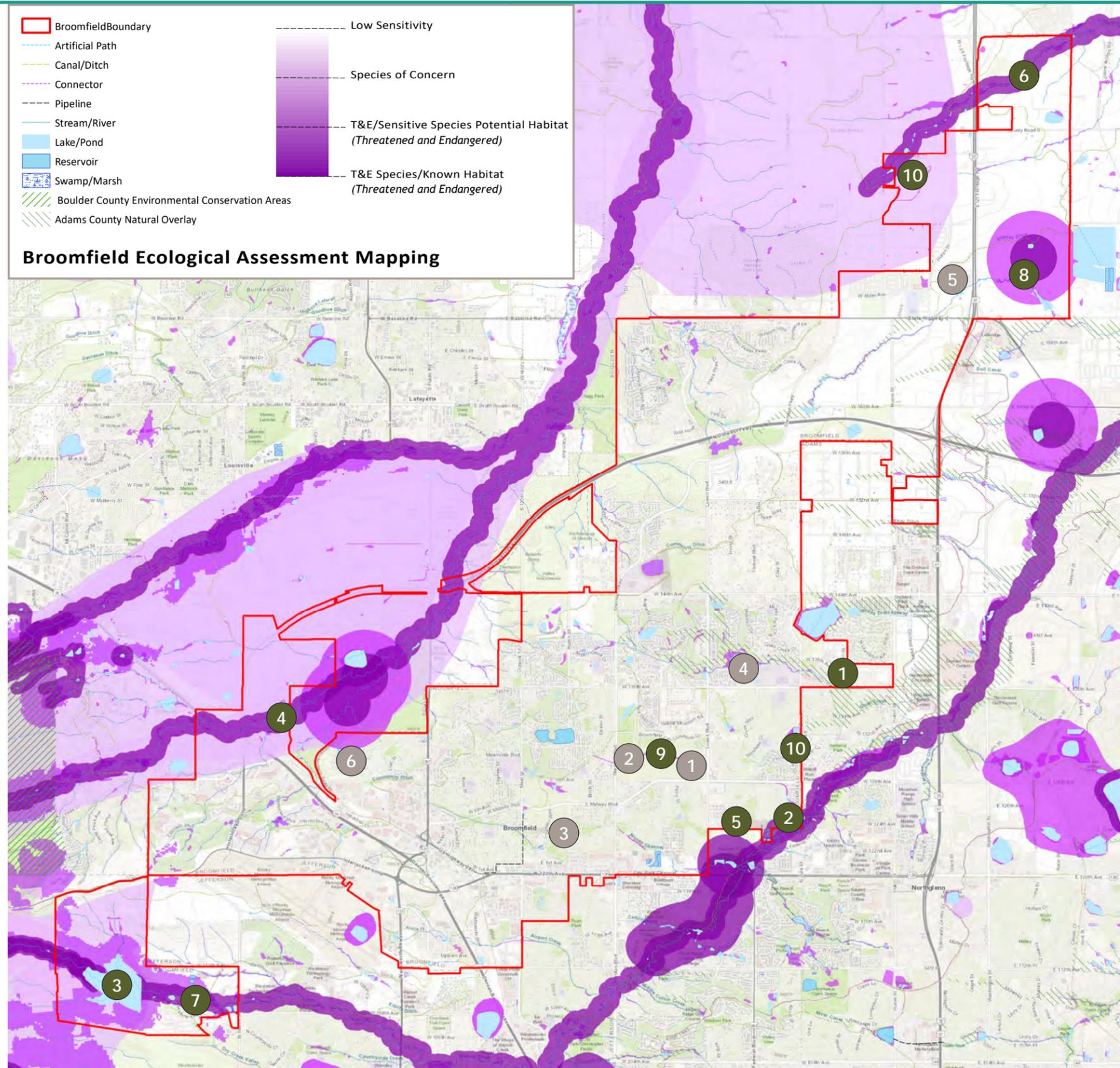
The locations of significant natural resources and areas that support high value wildlife habitat and use are listed below and can be seen on Map 9.

SIGNIFICANT NATURAL RESOURCES IN BROOMFIELD

- 1 TOM FROST RESERVOIR
- 2 LE GAULT RESERVOIR
- 3 BRUNNER RESERVOIR
- 4 PLASTER RESERVOIR
- 5 BULL CANAL
- 6 LAC AMORA OPEN SPACE

AREAS THAT SUPPORT HIGH VALUE WILDLIFE HABITAT AND USE

- 1 QUAIL CREEK CORRIDOR
- 2 BIG DRY CREEK CORRIDOR
- 3 GREAT WESTERN RESERVOIR AND SURROUNDING OPEN LANDS
- 4 ROCK CREEK CORRIDOR
- 5 METZGER FARM RIPARIAN CORRIDOR AND PONDS
- 6 LITTLE DRY CREEK CORRIDOR
- 7 WALNUT CREEK CORRIDOR
- 8 PREBLE CREEK CORRIDOR
- 9 BROOMFIELD COUNTY COMMONS OPEN SPACE
- 10 HARMER OPEN SPACE



Map 9: Natural Resources and High Value Habitat Areas Map

Native Vegetation

Native vegetation as prairie or grassland is valuable because they constitute areas that are relatively intact or undisturbed by grazing or agricultural cultivation. Native vegetation is also greatly beneficial for pollinators, which are critical to the success of wildlife habitat areas.

Some of these areas still remain in Broomfield and are rated by the following criteria:

- **High** - Contains significant areas of (i.e., is dominated by) native plant communities, including areas of relatively intact prairie grassland, riparian woodland or shrubland, and herbaceous wetland.
- **Medium** - Contains some areas of native vegetation but is (1) somewhat degraded (with weed infestations, barren areas, low cover, low diversity) or (2) contains significant non-native areas. If the latter applies, non-native communities are in good condition and are relatively free of weeds and with good plant cover and some diversity. If there is degraded native vegetation, restoration potential exists by resting and weed control.
- **Low** - Basically lacking significant native vegetation, very weedy, or a near-monoculture (very low diversity).

The ecological assessment process utilizes existing data sources under Colorado State University's Conservation Data Explorer (CODEX) mapping tool. CODEX synthesizes conservation datasets from sources like the Colorado Natural Heritage Program (CNHP), Colorado Parks and Wildlife (CPW), and federal inventories, like the National Wetlands Inventory (NWI) from the U.S. Fish and Wildlife Service (USFWS) (CODEX 2023).

The CODEX database provides a snapshot of important vegetated areas. The Colorado Natural Heritage Program (CNHP) Terrestrial Ecological System Patches data indicates intact grassland north of the Great Western Reservoir area in the southwestern portion of Broomfield. This is part of the Western Great Plains Foothill and Piedmont Grassland which occurs at the extreme western edge of the Great Plains (CNHP 2020). Most occurrences can be characterized as a mixed- to tall-grass dominated system typically found on moderate to gentle slopes and in swales, primarily occurring as a relatively narrow elevational band between montane woodlands and shrublands and the shortgrass steppe.

Colorado occurrences of this system may be dominated by big bluestem (*Andropogon gerardii*), little bluestem (*Schizachyrium scoparium*), blue grama (*Bouteloua gracilis*), sideoats grama (*Bouteloua curtipendula*), green needlegrass (*Nassella viridula*), western wheatgrass (*Pascopyrum smithii*), sand dropseed (*Sporobolus cryptandrus*), needle-and thread (*Hesperostipa comata*), or New Mexico feathergrass (*Hesperostipa neomexicana*).

Natural Water Resources

Broomfield's riparian areas play an important role in providing nesting, feeding, and movement habitat for a large variety of wildlife species. Many of Broomfield's ponds and reservoirs balance the need for aquatic and riparian habitat with opportunities for recreation. These areas have the potential to support more sensitive and diverse habitat for wildlife.

Specifically, wetlands offer significant natural resource value to Broomfield, and they are tracked and ranked by the following criteria:

- **High** - Contains significant area of native wetland community that supports wetland wildlife uses and/or provides other functional wetland values such as water quality enhancement, water storage, and channel stabilization. Any impacts to these wetlands would require a permit from the U.S. Army Corps of Engineers pursuant to Section 404 of the Clean Water Act (404 permit), including mitigation (replacement, enhancement, or mitigation bank credits).
- **Medium** - Contains some area of native wetland but not a dominant part of site and can coexist with other uses if the wetland is retained with an adequate buffer. Any impacts to wetlands are likely to require a 404 permit and mitigation.
- **Low** - Either contains no wetland or, if present, is too small, too isolated, or too poor in quality to affect decisions concerning acquisition, preservation, or use of parcel. If degraded wetland is present, impacts may require a 404 permit.



Little Dry Creek

Public and Private Locations of Existing Prairie Dog Habitat Preserve Areas

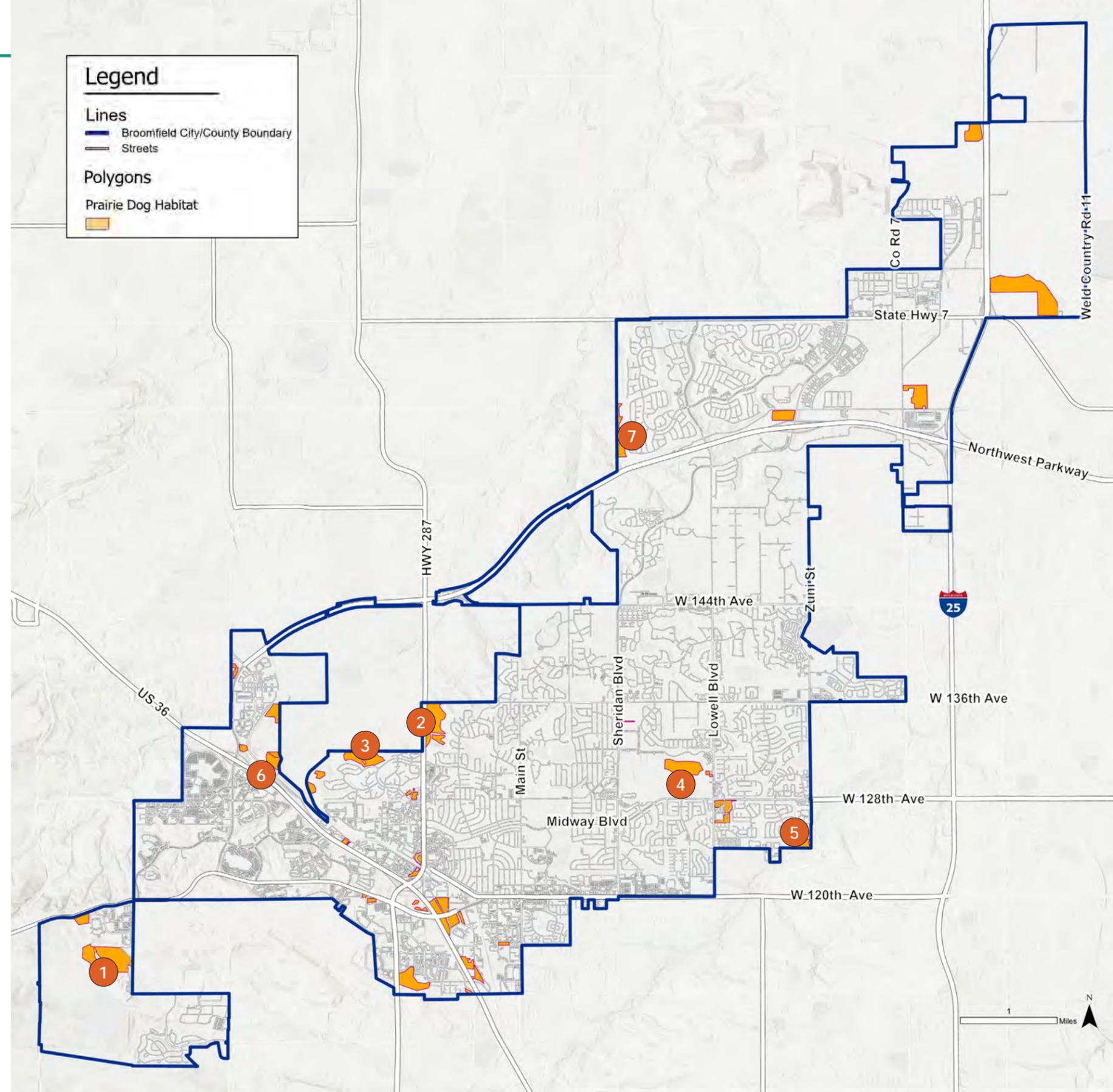
Map 10 shows the current location of documented prairie dog habit areas in Broomfield as of June 2023.

Less than 2% of pre-settlement prairie dog populations in the United States exist today, due to a combination of habitat loss due to agriculture and other human land uses and targeted extermination. This national trend is reflected in the Colorado Front Range. During the past 30 years, prairie dogs have colonized some areas of abandoned agricultural land in the region. However, these localized expansions have been offset by the habitat loss associated with urban and suburban development accompanying population growth in the Front Range.

Although not currently listed as threatened or endangered at the federal or state level, the black-tailed prairie dog has been the subject of increasing attention by the Colorado Parks and Wildlife (CPW), many city and county governments, and local citizens. Just as throughout the region, prairie dogs have become an issue throughout all front range communities, including the City and County of Broomfield.

Although active prairie dog colonies can present challenges with surrounding land uses, Broomfield appreciates the key role that prairie dogs play in the local ecosystem, and has committed to the preservation of significant prairie dog habitat on public Open Space. In the most recent surveys from 2022, Broomfield has 264 acres of prairie dog habitat preserved, across 7 public Open Space sites in the community. See the Broomfield Prairie Dog Conservation and Management Policies for more information.

Broomfield-Owned Prairie Dog Habitat Preserve Areas	
	Size (Acres)
1 Great Western	150
2 Ridgeview	36
3 Lac Amora	14
4 Broomfield County Commons	35
5 Willow Run	5
6 West Midway / 96th Area	2
7 Anthem Ranch Western Greenbelt	22
TOTAL:	264 Acres



Map 10: Existing Prairie Dog Habitat Location Map

2.6 OPEN SPACE MANAGEMENT AND MAINTENANCE

Existing Baseline Management Plans

The City and County of Broomfield creates baseline management plans for major Open Space areas as needed. Baseline Management Plans assess the natural and cultural resources of a site and Open Space uses such as trails that are compatible with these resources and identify guidelines for management as needed. Plans serve a similar purpose as a Baseline Management Plan, but often contain more detailed information to guide future development.

Six Major Open Space areas currently have a Baseline Management Plan in place. These plans are helpful for future visioning, design, and installation of Open Space amenities for major Open Space areas. This OSPRT Plan will help to identify Major Open Space Areas that may benefit from a Baseline Management Plan in the future.

EXISTING BASELINE MANAGEMENT PLANS

The Field

Broomfield County Commons

Metzger Farm Open Space

Plaster Reservoir Management Plan

Markel Open Space Plan

Wottge Open Space Plan

EXISTING MANAGEMENT AND MAINTENANCE GUIDELINES AND POLICIES

Broomfield currently has several guidelines or policies relating to management and maintenance of OSPRT. These documents are listed below.

- Prairie Dog Conservation and Management Policies
- Draft Raptor Management Plan
- City and County of Broomfield Park Services Landscape and Irrigation Maintenance Standards (2023)
- City and County of Broomfield Coexistence with Wildlife Policy
- Campsite, Housing, Assessment, Response Team (CHART)
- Open Space Weed Management Plans:
 - o 96th Street Interchange
 - o Alexx and Michael's Pond
 - o Anthem Ranch
 - o Aspen Creek
 - o Broomfield County Commons
 - o Country Estates
 - o Country Vista
 - o Crystal Pines
 - o Great Western
 - o Hoopes
 - o Lac Amora Open Space
 - o Markel Property
 - o McKay Lake
 - o Metzger Farms
 - o Plaster Reservoir
 - o Ridgeview
 - o Siena Reservoir
 - o Skyestone
 - o The Field
 - o Wildgrass
 - o Willow Run

2.7 EXISTING CULTURAL RESOURCES

Historical Landmarks

Broomfield Depot Museum

Constructed by Colorado & Southern Railway (C&S) bridge and building crews in 1909, the Broomfield Depot jointly served the C&S and one of its subsidiaries, the Denver & Interurban Railroad. The building is an excellent example of an early twentieth-century live-in depot, with a kitchen parlor, and bedrooms for travelers.

Originally located where the railroad tracks cross West 120th Ave near downtown Broomfield, the depot was moved to Zang's Spur Park in 1976 and now houses Broomfield's local history museum.



Broomfield Depot Museum in its original location (Broomfield Depot Museum Collection)

Metzger Farm Open Space

The property is in the city of Westminster though it is bordered by Broomfield on its north and west sides. Metzger Farm is located in the northeast quadrant of the intersection of Lowell Boulevard and West 120th Avenue. The Broomfield-Westminster Open Space Foundation was established by the two governmental entities to oversee the management of Metzger Farm.

The Foundation prepared the Metzger Farm Open Space Plan and includes a trail and other Open Space amenities. In recent years, the farmstead buildings' exteriors have been restored and interpretive signage explaining the history has been posted at the farmstead.



Metzger Farm Open Space



Broomfield Depot Museum Today



Main Farmhouse at the Metzger Farmstead

Brunner Farmhouse and Gardens

The Brunner Farmhouse is located in The Field Open Space, but was originally located on the Northwest corner of 120th Ave and Sheridan, where King Soopers, Home Depot and numerous smaller shops are now. The current location of the Brunner Farmhouse and Gardens was and continues to be a joint venture between the Kozisek Family, Brunner Family, and numerous community businesses, and the City and County of Broomfield.

The mission of the Brunner Farmhouse and Gardens is to provide a community gathering place for the residents of Broomfield. This will enhance interactions, reflection and connection to our past, and sustain historical and cultural values.



CUS Extension Teaching Garden at Brunner Farmhouse



Brunner Farmhouse

Broomfield Arts & History

A division of the Library, Extension, Arts and History Department, Arts & History works in collaboration with the community to cultivate opportunities to connect, create and thrive.

Art in Public Places

The Art in Public Places program supports artwork across Broomfield in partnership with various city departments, including the Open Space/Trails Department and Parks, Recreation/Senior Services Department. The Broomfield Art in Public Places program enlivens public space, nurtures community identity, and contributes to a vibrant city through reflecting community spirit, enriching conversations, engaging community and elevating a sense of belonging.

With over 110 temporary and permanent installations, including long-range projects like the ARTery creative corridor initiative, the Art in Public Places collection showcases a variety of diverse artworks created by local and national artists. The ARTery provides engaging public art along Broomfield's Parks, Open Space, and trails among other locations.

Broomfield History and Museums

History comes alive in Broomfield through dynamic programs, projects and partnerships at the Depot Museum, Crawford Honey House, Broomfield History Collection and throughout the community.

Creative Network

Supporting the development, cultivation and celebration of the creative economy in Broomfield. Programs and resources include grants and artist opportunities, PULSE networking events and community engagement.

Special Events and Programs

Creating connection through storytelling, our year-round events and programs include performances, Summer Concerts Series and artist in residence programs.

Broomfield Auditorium

The 286-seat Broomfield Auditorium is available to rent for performances, recitals and special events. With modern equipment, a knowledgeable technical support team and affordable rental rates, discover what you can create in the Auditorium.

Arts, History and Cultural Council

The Arts, History and Cultural Council is comprised of residents of Broomfield to support creativity in Broomfield through volunteering on this advisory board. Supporting the Arts and History division, the board reviews applications and award funding through the Scientific and Cultural Facilities District (SCFD) and the Arts, Culture and Science Grants, provide feedback and discussion on long-range plans for programs and services and support initiatives including Art in Public Places projects



"Illuminate" with artist David Farquharson that is now relocated at Shep's Crossing

Existing Volunteer Groups and Opportunities

The Broomfield Open Space and Trails Department oversees multiple volunteer programs, where local residents can help support local wildlife, habitat restoration, and departmental events. Please see below for program details and the list of duties that the volunteers assist with as part of that program.

The different groups as of 2023 include:

Coyote Crew

Provide education to community members about how to coexist with coyotes and respond to situations involving coyote interactions with people. Training is required to participate in this project.

Eagle Watch

Monitor and record the status of nesting eagles in and near Broomfield. Observations of the eagles and their nest are made daily during the sensitive egg laying and incubating season (February and March) to support the conservation of these magnificent birds.

Events

Assist the Open Space and Trails team to host events such as Bike to Work Day, Kids' Fishing Derby, National Trails Day, along with other community events, all of which promote the conservation of shared Open Space properties and trails networks in Broomfield.

Nature Program

Deliver hands-on programs to a variety of ages, but mostly to preschoolers and their parents, through the Broomfield Nature Program.

Wildlife Masters

Answer questions about wildlife through the Broomfield Wildlife Masters program. Inform and inspire residents to coexist with wildlife, using non-lethal safety, expulsion, and exclusion techniques.

Other Volunteer Opportunities Outside the City and County of Broomfield:

Broomfield Open Space Foundation

Protect, enhance, and promote the enjoyment of Broomfield's Open Space, trails, and wildlife through the Broomfield Open Space Foundation. Assist with the Kids' Fishing Derby, Metzger Open Space clean-up, spring planting, weed eradication, and many other opportunities. This is a separate 501(c)3 organization that is governed by its own board comprised of Broomfield residents.

Urban Prairies Project

Restore pollinator habitat through the Urban Prairies Project, which is a collaboration among Butterfly Pavilion, City and County of Broomfield, City of Westminster, Broomfield Open Space Foundation and Denver Botanic Gardens.

To View these opportunities and other volunteer programs managed by the City and County of Broomfield, please visit www.broomfield.org.



Broomfield Open Space Foundation Pole Prep for the 2023 Fishing Derby



Nature Program in Broomfield

Existing Athletic Teams and Leagues

Athletic teams and leagues covering a variety of youth sports are sponsored by the City/County as well as private, recognized Youth Sports Groups. These are the athletic teams and leagues that exist in 2023, but may be subject to change over time based on the needs and interests of the community. A current roster of athletic organizations serving youth includes the following:

Youth Athletics

Basketball

Winter: January-March

Lacrosse

Spring: March-May
Fall: August-October

Volleyball

Spring: March-May
Fall: August-November

C.A.R.A. Tennis & Tennis Lessons

Summer: June-July

Softball

Summer: May-July

Baseball

Summer: May-July

Little Sluggers & Tball

Summer: June-July

Girls Tball

Summer: June-July

Boys Tball

Summer: May-June

C.A.R.A Track & Cross Country

Track Summer: June-July
Cross Country Fall: August-October

Gold Crown Volleyball and Basketball

Available participation dates vary

Adult Athletics

Softball

Spring: March-April
Summer: May-August
Fall: August-October

Volleyball

Spring: March-April
Late Summer: August-September
Fall: September-November

Tennis

Summer: June-July

Basketball

Spring: March-May
Summer: June-July
Fall: September-November

Ladies Golf

Spring: April-June
Fall: August-October

Pickleball

Available participation dates vary

Active Adult Athletics

Volleyball

January-March and September-November

Softball

League play begins in April

Tennis

Summer

Pickleball

Available participation dates vary

Senior Service Programs That Exist in 2023

These are some of the programs that exist in 2023, but may be subject to change over time based on the needs and interests of the community. Please visit www.broomfield.org to view all the current programs and services.

Nutrition

MEALS ON WHEELS

Meals are delivered to homes by volunteers, Monday through Friday. Frozen meals are available for delivery on Friday as well. Broomfield Meals on Wheels is an official member of Meals on Wheels America.

LAKESHORE CAFE

Lakeshore Cafe is open to the public, doors open and lunch is served Monday through Friday. The meal includes a salad, beverage, and dessert.

HEALTHY HEARTS

The focus of the Healthy Hearts Program is to encourage and promote the importance of proper diet and exercise. Lakeshore Cafe provides a Healthy Hearts meal twice a month, on the first and third Wednesdays.

PROJECT HOMECOMING

Project Homecoming provides up to five no-cost meals from Broomfield Meals on Wheels after a recent hospital stay.

Transportation

EASY RIDE

Broomfield Easy Ride provides quality transportation for Broomfield residents aged 60+ and individuals with disabilities. All riders must be registered before scheduling.

EASY RIDE HOTLINE

The Easy Ride Hotline gives riders the option to leave a message to ensure that the appointment is made with staff.

OTHER TRANSPORTATION OPTIONS

Grocery Delivery Support
Carry-Out Caravan grocery delivery is serving Broomfield.

Regional Transportation District
Resources include Access-A-Ride, Flex Ride, Denver Regional Council of Government (DRCOG) Aging and Disability Resource Center Rideline VetsGo, Denver Regional Mobility and Access Council (DRMAC) information line.

Education Programs

Cop Talk

Cop Talk is a free event that brings police officers and the community members they serve together over coffee to discuss various issues. Attendees are encouraged to bring and ask questions, raise concerns if they have any, or just say hello, and enjoy a cup of coffee with a cop.

Newcomer's Coffee

Folks who may be new to Broomfield or don't know what Broomfield Senior Services offers can join a Senior Services staff member for a cup of coffee and discussion about Senior Services' programs and services.

Humana Health & Wellness Series: Living to 100

A free event where experts share "centenarian secrets" along with other factors that lead to aging well

Older Adult Book Club: What a Plant Knows

The renowned biologist Daniel Chamovitz looks at how plants experience the world—from the colors they see to the schedules they keep, to what they can hear and are able to taste.

Elder Abuse Prevention

Adult Protective Services help at-risk adults who are experiencing abuse, neglect and/or exploitation.

Other Helpful Resources

- Caregiver Respite Information
- Information and Assistance Program
- Financial Assistance
- Fix-It Program
- Senior Mental Health Hotline



Active Seniors in Broomfield

Newsletter Sign Up

Residents may sign up for various newsletters and eNotices related to topics that interest them.



Chapter 3



COMMUNITY VALUES AND PRIORITIES

The OSRPT Plan is intended to reflect and respond to Broomfield residents' comments voiced during the public engagement process. A "values driven" planning process helps to ensure that recommendations reflect perceived needs and priorities, and that community support sustains the plan throughout implementation.



Broomfield Days Race

3.1 COMMUNITY OUTREACH OVERVIEW

Goals and Objectives

The goal of the community outreach efforts was to gain a better understanding of the unique wants and needs of the community to ensure that all of the diverse perspectives of Broomfield residents are represented within the OSPRT Plan. This community input and feedback was used to inform the technical analysis of the OSPRT Plan. Outreach efforts included:

- Community Survey (819 responses)
- Focus Groups (6 with different stakeholder groups)
- Pop-Up Events (18)
- Additional Outreach Efforts (Newsletters, Networking with Community Partners, etc.)

The City and County of Broomfield utilized existing connections with community groups to glean their unique perspectives on what the priorities should be for Broomfield. The groups were asked if the priorities of the 2005 OSPRT Plan remain relevant and to identify any new trends or preferences that have evolved over the past 20 years that were not originally a part of the 2005 plan.

Outreach Groups included:

- Adams County, Jefferson County, and Boulder County School Districts
- Sports/Athletic/Para and Adaptive Athletic/ Groups
- Groups that work with BIPOC (Black, Indigenous, and People of Color) communities
- Groups that work with low-income communities.
- Most common non-English language speakers in Broomfield including Spanish, Hmong, Vietnamese, Mandarin speakers
- English as a second language populations
- Refugee/immigrant populations
- Persons with disabilities
- Youth (generally high school students)
- Seniors/Elders
- LGBTQIA+
- People experiencing houselessness
- Non-Profit organizations including volunteer groups with special attention given to groups involved with the environment, land preservation, and nature
- Business owners related to OSPRT
- Housing Developers
- Housing related groups such as Broomfield FISH (Fellowship In Serving Humanity) neighborhood representatives, Mobile home residents, HOAs, Broomfield Housing Alliance, The Refuge, and other housing service related groups



BrewHaHa Walking Open House "Pop-Up" Event

Figure 6: Community Outreach Process Graphic

COMMUNITY SURVEY

Process and Purpose

The primary goal of the community survey was to receive feedback equally from all of the diverse perspectives of Broomfield residents and to understand how community needs have shifted over the last 20 years. The OSPRT Plan survey was available from April to June in 2022 and offered in five languages: English, Hmong, Mandarin, Spanish and Vietnamese. Please see Appendix A for more information.

The survey sought to refine and enhance previously identified goals for Open Space, Parks, recreation and trails in four key areas:

ACCESSIBILITY

FACILITIES AND AMENITIES

PROGRAMS AND ACTIVITIES

POLICY IMPROVEMENTS



Broomfield Days "Pop-Up" Event

Statistical Validity

In surveying and social science research, the Confidence Level refers to the probability that your sample size accurately reflects the attitudes of your population. The industry standard confidence level in surveying is 95%.

The Margin of Error is the range in percentage that your population's responses may deviate from your sample. The industry standard margin of error is 5%. To achieve the industry standard 95% confidence level and 5% margin of error, the OSPRT Plan project team needed to collect 383 surveys, based on US Census 2020 data of Broomfield's population.

With a total of 819 surveys in this report, these results exceed industry standard for statistical validity with a 95% Confidence Level and a 3.4% Margin of Error.

Survey Respondents Household Data

Most respondents (93%) indicated that they are Broomfield residents, with nearly half of all respondents stating that they have lived in Broomfield for more than a decade.

Notably, 42% of respondents have two residents in their home while 46% live in homes with 3 or more people. 38% of respondents live in homes with at least one child. 19% identify as non white; and 25% are over 65 years old.

Approximately one quarter of survey respondents have an annual income below Broomfield's median household income of \$101,206.



Figure 7: Survey Responses at a Glance

SURVEY KEY TAKEAWAYS

- OSPRT are primarily used for recreation, physical and mental wellness, and to appreciate Broomfield's natural beauty; they are less commonly used for commuting or getting around the community although there is a desire to use the trails more frequently for transportation purposes as trail connectivity improves.
- Broomfield's Parks and Open Space are viewed as being more accessible than both trails and recreation centers.
- A top priority is the overall maintenance of walking/biking surfaces, Open Spaces, Parks and recreation areas.
- Survey respondents overwhelmingly state that OSPRT directly contribute to their mental and physical wellbeing, especially through the use of trails, Open Space and Parks.



Joint OSTAC and PRSSAC Meeting Presentation on Community Outreach Efforts

COMPARISON TO THE 2005 SURVEY

Priorities were established in the 2005 survey and still remain desirable in the 2022 survey.

High priorities still include:

- Trail connectivity within neighborhoods and to major destinations of the community
- Park proximity to homes
- Providing Restrooms, Shelters, and Shade in OSPRT
- Residents frequent use of OSPRT amenities remains high
- The desire to continue to acquire more Open Space

Less focused on:

- Buffers to the North and West
- Less concerned with overall wildlife coexistence but coyotes are still a concern
- Locating large sport field facilities in larger Park areas

New community priorities that were identified through the 2022 survey that had not been a previous community objective:

- Navigation: signage, wayfinding and mapping
- Safety: lighting, street crossings, coyote conflicts, the desired reduction of pedestrian-vehicular conflict
- Access: lower fees / income accommodation for recreation centers, multilingual information and signage, North Broomfield accessibility to recreation centers that increases the ability to access Open Lands, public transportation, and parking facilities nearby Open Lands
- Mental and Physical Health: socializing and exercising opportunities in OSPRT
- Continued maintenance: including of trail surfaces, the reduction of weeds and vegetation encroachment on trails, and the reduction of trash throughout Open Lands.

SURVEY THEMES

Access

What would help improve access to Broomfield OSPRT?
Are there enough facilities nearby your home?

- MORE TRAILS
- IMPROVED CONNECTIVITY AMONG TRAILS
- MORE SIGNAGE, IMPROVED WAYFINDING, OR EDUCATIONAL MAPS
- MORE OPEN SPACE
- INCREASED PARKING NEAR TRAILHEADS
- LOWER RECREATION CENTER FEES/NO FEES
- BETTER MAINTENANCE
- MORE/BETTER PUBLIC TRANSPORTATION OPTIONS
- IMPROVED WAYFINDING OR EDUCATIONAL MAPS
- IMPROVE SAFETY AT CROSSWALKS WHERE TRAILS INTERSECT ROADS

Safety and Welcomeness

What would make you feel more welcome?

- INCREASED SIGNAGE
- REDUCED HOMELESSNESS AND ENCAMPMENTS
- IMPROVED RECREATION CENTER CUSTOMER SERVICE TO FEEL MORE WELCOME
- INCREASED SAFETY OR THE FEELING OF BEING SAFE
- MAINTENANCE OF OSPRT
- LEASH ENFORCEMENT OF OFF-LEASH DOGS
- BETTER/INCREASED LIGHTING ON TRAILS, BIKEWAYS AND CROSSWALKS
- PATROLS/INCREASED AUTHORITY PRESENCE
- (TIE): FEWER COYOTES; CYCLIST PEDESTRIAN SAFETY; CLEANLINESS/TRASH BINS

Trail System Use

What would help you use the trail system more?

- TRAIL CONNECTIVITY
- INCREASED INTERPRETIVE SIGNAGE
- HAVING ACCESS TO TRAIL MAPS
- CONNECTIONS TO DESTINATIONS (E.G. SHOPPING, CITY CENTER, PARKS, ETC.)
- ADDING SHADE THROUGH SHADE STRUCTURES AND TREE PLANTING
- INCREASED NUMBER OF TRAILS
- TRAIL CONDITION/WEATHER MAINTENANCE
- SAFETY
- WAYFINDING
- SAFER STREET CROSSINGS

What is Missing?

What is Broomfield missing in its OSPRT?

- INCREASED SHADE/SUN COVER WITH LANDSCAPING, PAVILIONS, OR STRUCTURES
- MORE OPEN SPACE
- SIGNAGE
- NOTHING
- NIGHTTIME LIGHTING ON TRAILS, BIKEWAYS AND CROSSWALKS
- MORE TRAILS
- TRAIL CONNECTIVITY
- TRAIL MAPS ON SITE/TRAILHEADS
- SAFETY INCLUDING PATROLS OR POLICE PRESENCE OR SECURITY
- MORE PERMANENT PUBLIC RESTROOMS
- MORE TRASH CANS

SURVEY SPECIAL DEMOGRAPHIC GROUP THEMES

ADULTS AGE 65+

- Important considerations among surveyed older adults were maintained Park, recreation and Open Space areas and maintained walking and biking surfaces. This group was slightly less likely than the general public to feel that there is equitable access to Parks, Open Space and trails.
- 5% more likely to feel that there is equitable access to recreation centers.
- 31% feel that there are not enough recreation centers near their homes.
- This group feels slightly less welcome than the general population at all OSPRT facilities due to wildlife and off-leash pets, inadequate signage on trails and at facilities, and insufficient infrastructure for persons with disabilities, among other things.
- Indicated that better signage, increased safety and better access would increase their usage of the Broomfield trail system.

FAMILIES WITH CHILDREN

- Broomfield's OSPRT contributed to their mental health at higher rates than the survey respondents overall, indicating the use of the facilities for family bonding, exercise, socialization and nature appreciation.
- This group cited safety and maintenance as a priority to improve welcome. Slightly more likely than the overall respondent group to feel that Broomfield is providing equitable access to its Open Space, Parks, recreation centers and trails, however they were also the group that most frequently cited the need for lower fees or a sliding fee scale for lower income people.
- Generally feel that there are enough Parks and recreation centers near them, but not enough Open Space and trails.
- Feel slightly safer at all OSPRT facilities, but slightly less welcome at all OSPRT facilities except Parks.
- Increased trail connectivity and signage, safety and education about existing Park and recreation facilities such as recreation centers, and trails would help families with children use the trail system more.

IDENTIFIED AS BIPOC / MULTIRACIAL

- Indicated that increasing access would be achieved through increasing the amount of Open Space and trails, making recreation centers more affordable, increasing public transportation options, and increasing signage, among other things.
- Felt less safe and welcome at Broomfield's Open Space, Parks recreation centers and trails than the overall community. The greatest gaps were seen in safety on trails and welcome at Open Space and trails.
- Safety including lighting, call boxes, wildlife management and patrols as an area of possible improvement to feel more welcome.
- 58% of BIPOC respondents indicated that program and activity options were important to them with several comments reflecting a desire for increased opportunities in those areas.
- Increased connectivity and signage, more amenities, better maintenance and increased programming as things that would help them use the trail system more.

IDENTIFIED AS LATINX / HISPANIC

- Rated equitable access to Broomfield OSPRT 21% lower than overall survey respondents, the lowest of any population surveyed.
- Noted the disparity in Parks between various neighborhoods as well as the need for Parks in higher density areas where they are lacking. Of the groups surveyed, the Latinx community had the lowest positive sentiments toward safety at all OSPRT facilities, feeling the least safe on trails and Open Space.
- With the exception of Parks, the Latinx community also felt less welcome at Broomfield facilities.
- Increased/clearer signage, maintenance and safety were all cited as being ways in which community members would feel more welcome.
- Increased connectivity and signage, addressing safety and accessibility concerns and Park and trail maintenance would increase usage among this group.
- Expressed the highest contribution of mental health benefits from recreation centers with 86% of respondent's expressing that recreation centers contributed positively to their mental health. This is 8% higher than the community overall.
- Important considerations were maintained Park, recreation and Open Space areas and maintained walking and biking surfaces.

SURVEY SPECIAL DEMOGRAPHIC GROUP THEMES

IDENTIFIED AS ASIAN

- Slightly less likely than the overall population to feel that there is equitable access and proximity to Broomfield Parks, recreation centers, Open Space, and trails, with Open Space having the lowest comparative accessibility score.
- Want to see increased access to public transportation or shuttles to help them get to the various facilities.
- Had the highest negative sentiments toward feeling welcome at recreation centers.
- Indicated they would like to use the trail system for commuting and getting to and from locations more regularly but cited difficulties in trail connectivity and access to public transportation connections.
- Indicated a desire for better signage, more parking, bathrooms and shade along trails, and more safety accommodations particularly in relation to vehicle traffic.
- CCOB Parks and recreation centers contributed to their mental health at higher rates than the overall respondent pool, but Open Space and trails at slightly lower rates than the population overall.

LOW HOUSEHOLD INCOME (LESS THAN \$50,000 ANNUAL HOUSEHOLD INCOME)

- Had a wide variety of responses when it comes to equitable access to CCOB facilities. They indicated equity at recreation centers and Parks higher than the other demographic groups, but slightly lower rates for Open Space and trails than the respondents overall.
- Felt positive sentiments to safety slightly more for Open Space and trails than the community overall, they felt less safe at recreation centers and Parks and less welcome at other OSPRT facilities in general.
- On trails, this group felt 10% less welcome (in OSPRT) than overall respondents.
- Indicated better signage, increased safety measures and bicycle courtesy as things that would make them feel more welcome.
- Increase connectivity and signage, more amenities, increased maintenance, more safety measures and shade would help this group use the trail system more.



Young Broomfield resident volunteering for a weed pull event

FOCUS GROUP EVENTS

Process and Purpose

The purpose of Focus Group discussions with residents was to prioritize community input from several community groups who may have unique perspectives and varied lived experiences, and therefore differing priorities, for Broomfield's Open Spaces, Parks, Recreation opportunities and Trails.

These in-person discussions added to the results of the community survey to collect more in-depth qualitative feedback. CCOB staff was intentionally not present during the Focus Group discussions so that participants felt they could speak freely.

Focus Groups Included:

SPANISH SPEAKING COMMUNITY

ATHLETICS, ACTIVE RECREATION, AND SPORTS GROUPS

**NON-PROFIT, ADVOCACY, VOLUNTEER AND YOUTH GROUPS
INTERESTED IN ENVIRONMENT, WILDLIFE, AND CULTURE**

HOUSING, DEVELOPER, AND BUSINESS RELATED GROUPS



Trails Day at Siena Reservoir/Anthem Community Park

FOCUS GROUP EVENT THEMES AND KEY TAKEAWAYS

SPANISH SPEAKING COMMUNITY

Access

- Lack of information for people with English as a second language: Website, rental/membership forms, posted signs and in-person help at the recreation centers are not widely available in Spanish.
- Limited access to Parks, Parks are not walkable from their homes in certain areas or the Parks that are nearby do not have playground equipment for families with children.
- Recreation center fees create barriers to entry for families or groups; discounted membership forms are only available in English.
- Limited public transportation options to OSPRT facilities for people without cars.

Connectivity/convenience

- Commuting by bicycle is difficult or feels unsafe when there is no trail access to key destinations.

Future improvements

- Wider walkways for multi-modal and shared use.
- More public art in Parks (murals, sculptures and art activities).
- Reduction of Recreation Center fees.
- Updated playground equipment, or equipment that is appealing for older children such as climbing walls, skate parks and large scale equipment; playgrounds for young children and older children that are in close proximity to each other.
- More restrooms with plumbing; posted signs (in English and Spanish) when restrooms are closed.
- More parking in areas that currently have small parking lots or only on street options; street parking is not safe for families with small children or strollers, especially if there are no crosswalks.
- Winter play: Indoor spaces at recreation centers that offer similar play experiences to a traditional playground; improved winter maintenance of playground equipment and surrounding areas (benches, tables) after snowfall.

ATHLETICS, ACTIVE RECREATION, AND SPORTS GROUPS

Access

- Continue the emphasis on people with decreased or nonexistent hearing within the disability community; recommend enhancements to ADA compliance.
- Athletes including those with physical disabilities want to be challenged; the wide spectrum of ability levels should be included, accommodated for, and considered when creating spaces and programs for athletes.
- Adaptive sports for youth and adults is critically important; there should be dedicated spaces (fields, Parks, etc.) that are used primarily or exclusively for these purposes

Maintenance

- Concern about trash pick up, specifically at Broomfield County Commons where there seems to be high use and lots of waste; wildlife encounters are frequent and participants identified increased trash collection as a solution.
- Participants, especially those working in sports programming, said that year round maintenance of fields and trails is lacking and is essential (snow removal at trails, sports fields, courts).
- Lights are needed for multi-use fields similar to baseball fields, as there currently are none.

Future improvements

- Enhance opportunities for regional collaboration; establish partnerships to position Broomfield as a key destination for athletics and adaptive sports;
- Additional opportunity to make Broomfield a destination for disc golf (many courses regionally have closed due to the pandemic).
- Improve wildlife conservation through volunteer opportunities, community education and support.
- Provide information explaining what the differences are between Open Lands and Open Space.
- General public education to be better stewards of the land was emphasized; participants noted this recommendation in relation to pet waste pickup and general use of Parks and facilities.

FOCUS GROUP EVENT THEMES AND KEY TAKEAWAYS

NON-PROFIT, ADVOCACY, VOLUNTEER AND YOUTH GROUPS INTERESTED IN ENVIRONMENT, WILDLIFE, AND CULTURE

Access

- Limited access for youth and people without cars (currently in Broomfield, there are no places to rent a bicycle; recommendation to work with RTD or another public transit/non profit group to provide transportation, even if only once a month).
- Trails that are too narrow and/or trails using crusher fines/gravel limits use for people using mobility devices.

Maintenance

- Concerns around pet waste (recommendations to add dedicated dog parks and more pet waste stations).
- Littering and an accumulation of trash in irrigation ditches.

Future Improvements

- Natural resource education and preservation: Signage that educates community on wildlife in areas, such as birds at reservoirs, mapping of native/indigenous peoples and places, land acknowledgments honoring native plants and the people that used plants for medicinal and other purposes, a dedicated nature center in Broomfield, landscaping enhancements.
- Create Parks, recreational spaces and programs that are specifically designed for people with disabilities.
- Outdoor classrooms and educational programming (plants, birds, butterflies): Recommendations include increased outdoor classrooms similar to the Audubon programming, going to elementary schools to increase youth education about Open Space and natural resources, and incorporating fun elements such as hidden gnomes into public spaces to encourage youth interest.
- Wildfire mitigation: This group expressed concern about fire safety and emphasized the need to include a fire mitigation plan.
- Signage improvements: Consider signage in multiple languages or large visual signage and braille options for the visually impaired.
- Accommodations: Add fix a flat stations for cyclists, water bottle refill stations, pet waste stations, increased parking at trailheads.

HOUSING, DEVELOPER, AND BUSINESS RELATED GROUPS

Access

- Focus on quality spaces that are accessible and equitably located throughout Broomfield.
- Connectivity is very important with new development, both locally as well as regionally between cities.
- Attempts to program elements such as shuttle to and from destinations in Broomfield is challenging due to a lack of density and requirements of RTD.
- Desire for more trail connections to link Open Lands destinations together and encourage alternative transportation choices.

Maintenance

- Concerns about future water needs and long-term maintenance costs.

Future Improvements

- Current Public Land Dedication (PLD) requirements can be challenging for new development.
- Concerns about future development and accommodating higher density communities.
- Desire to find sustainable solutions that fulfill both the housing demands and Open Lands demands of the community.
- Desire to focus on capitalizing on the existing Open Lands system that Broomfield has today.
- Focus on prioritizing smaller, higher quality spaces that serve the needs of the community over large areas of land for dedication.
- Locating attainable or affordable housing in desirable locations is very important, such as facing a Park or near a major trailhead.
- Having a clearer definition of trail requirements (type, size, material, location, etc) will be useful for future entitlement processes.
- Having a designated Right-Of-Way or specific street section that shows a trail within it may make trail implementation possible in an overall planning process.

POP-UP EVENTS

ADDITIONAL OUTREACH EFFORTS

Process and Purpose

In addition to the Survey and Focus Groups a series of “Pop-Up” events acted as in-person engagement opportunities to promote the community survey and collect qualitative feedback from residents. A Pop-Up is a temporary information table that a staff person manages to answer questions and to provide the survey. A pop-up can also be a larger organized gathering such as Trails Day or Pride Day. These events were designed to complement quantitative results from the community survey with in-person and “in the moment” community input from residents attending the events.

List of Pop-Up Events

1. Seed Exchange
2. Talon Talk
3. The Refuge
4. Coyote Crew Event 1
5. Coyote Crew Event 2
6. Emerald School End of School Celebration
7. Trails Day
8. Pride Day
9. Library Pop-Up Event
10. Pacific Ocean Marketplace
11. Paul Derda Recreation Center
12. The Bay Aquatic Center
13. Plein Air Painting at Metzger Farm
14. BrewHaHa
15. Farmers Market
16. Bike to Work Day
17. Summer Concert Series
18. Science and Art Experience at Brunner Farmhouse

Additional Outreach Efforts

The following outreach efforts were made to add to Focus Groups and “Pop-Up” Events:

- Informational Tables at Recreation Centers, the Community Assistance Center, and Library
- Three Senior Lunches with hard copies of surveys
- Laminated QR Codes placed at over 30 locations including trailheads and playgrounds
- Utility Bill Statement encouraging residents to take the survey
- 3,000 Postcards mailed to residents
- Postcard fliers placed at Child Watch, City and County Building, and Recreation Center front desks
- Digital Signage at Recreation Centers, Library, Invent HQ, Health and Human Services and City Building
- Partner Newsletters
- Stakeholder Group Engagement
- Standard Communications: Instagram, Facebook, Broomfield Enterprise (Local Newspaper) etc.
- Telephone Hotline for residents to call for questions and/or take the survey
- Link to survey added to the signatures on all Open Space and Trails Staff emails

Follow-up with the Community on the OSPRT Recommendations

Several opportunities for the public to review the OSPRT Plan recommendations were provided:

- At Broomfield Days 2023, the final recommendations were available to attendees to review at the CCOB information tent.
- A second session was organized for the Spanish Speaking Community Focus Group to review the recommendations.
- A second session for the Housing/Developer/Business Focus Group was held to share results. Recommendations were also sent via email to this group.
- Joint OSTAC/PRSSAC public meetings were held on October 26, 2023 and January 25, 2024 to share and refine the recommendations.

These steps were a key part of the public engagement process so that the recommendations could be refined if necessary.



Bilingual Talon Talk Open House “Pop-Up” Event

2022 "POP-UP" EVENTS

- | | |
|---|--|
| <ul style="list-style-type: none"> 1 Seed Exchange - April 23
Library -
9 Community Park Road 2 Talon Talk - May 7
Centennial Elementary School
13200 Westlake Drive 3 The Refuge - May 12
1160 Quay Street #200 4 Coyote Crew - May 23
Metzger Farm
2080 Lowell Blvd 5 Coyote Crew - May 26
Metzger Farm
2080 Lowell Blvd 6 Emerald School End of School Celebration - May 26
275 Emerald Street 7 Trails Day - June 4
Anthem Community Park
15663 Sheridan Boulevard 8 Pride Day - June 4
Midway Park
1279 West Midway Boulevard 9 Library Pop-Up - June 8
Library
9 Community Park Road | <ul style="list-style-type: none"> 10 Pacific Ocean Marketplace - June 11
6600 West 120th Avenue 11 Paul Derda Recreation Center - June 16
13201 Lowell Blvd 12 The Bay Aquatic Center - June 16
250 Spader Way 13 Plein Air Painting - June 17
Metzger Farm
2080 Lowell Blvd 14 BrewHaHa - June 18
8095 Arista Place 15 Farmers Market - June 21
Holy Comforter Episcopal Church
100 West 10th Avenue 16 Bike to Work Day - June 22
East Park
280 Interlochen Boulevard 17 Summer Concert Series - June 22
Library
9 Community Park Road 18 Science and Art Experience - June 25
Brunner Farmhouse |
|---|--|

QR CODE LOCATIONS

- | | |
|---|--|
| <ul style="list-style-type: none"> 1 Brunner Farmhouse
640 Main St 2 Tom Frost Reservoir
13200 Sheridan Blvd 3 Broomfield Commons Park
13200 Sheridan Blvd 4 Broomfield Commons Park Pod
13200 Sheridan Blvd 5 Broomfield Commons Dog Park
13201 Lowell Blvd 6 Columbine Meadows
12606 Hazel Ct 7 Metzger Farm Open Space
12080 Lowell Blvd 8 Anthem Park
15663 Sheridan Blvd 9 Wildgrass Park
14759 Eagle River Loop 10 Lac Amora Park Restroom
1155 Lilac St 11 Lac Amora Park Pavilion
1155 Lilac St 12 Josh's Pond
Oak Circle S 13 Willow Run Park
Willow Run Pkwy 14 Brandywine
Perry St 15 Country Vista Park
4514 Winona Pl 16 Highland Park
1200 Highland Park Dr | <ul style="list-style-type: none"> 17 Willow Park
12751 Vrain St 18 Skystone Playground
Skystone Pkwy 19 Skystone Playground Pavilion
Skystone Pkwy 20 The Ridge Playground
Ridge Pkwy 21 The Ridge Playground
Ridge Pkwy 22 Arista Park Plaza
Central Ct 23 Arista Park Playground
Central Ct 24 McKay Lake
Zuni St 25 Palisade Park
W 169th Pl 26 Sheps Crossing
Industrial Ln 27 Depot Museum and Playground
2201 W 10th Ave 28 Midway Park Playground
1275 W Midway Blvd 29 Midway Park Baseball Field
1275 W Midway Blvd 30 Red Point Ridge Park
Central Ct 31 Sheps Dog Park
Uptown Ave |
|---|--|

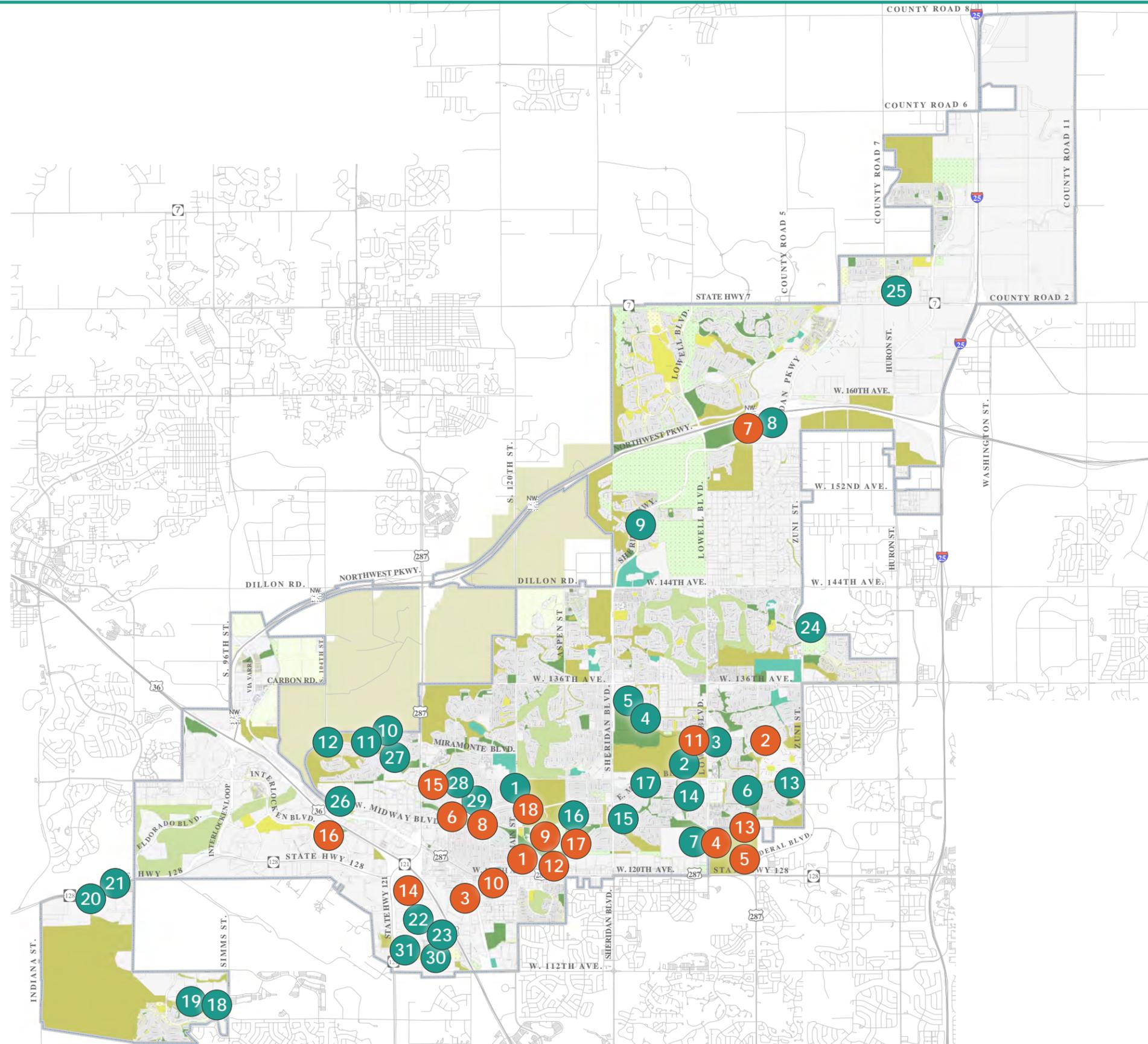
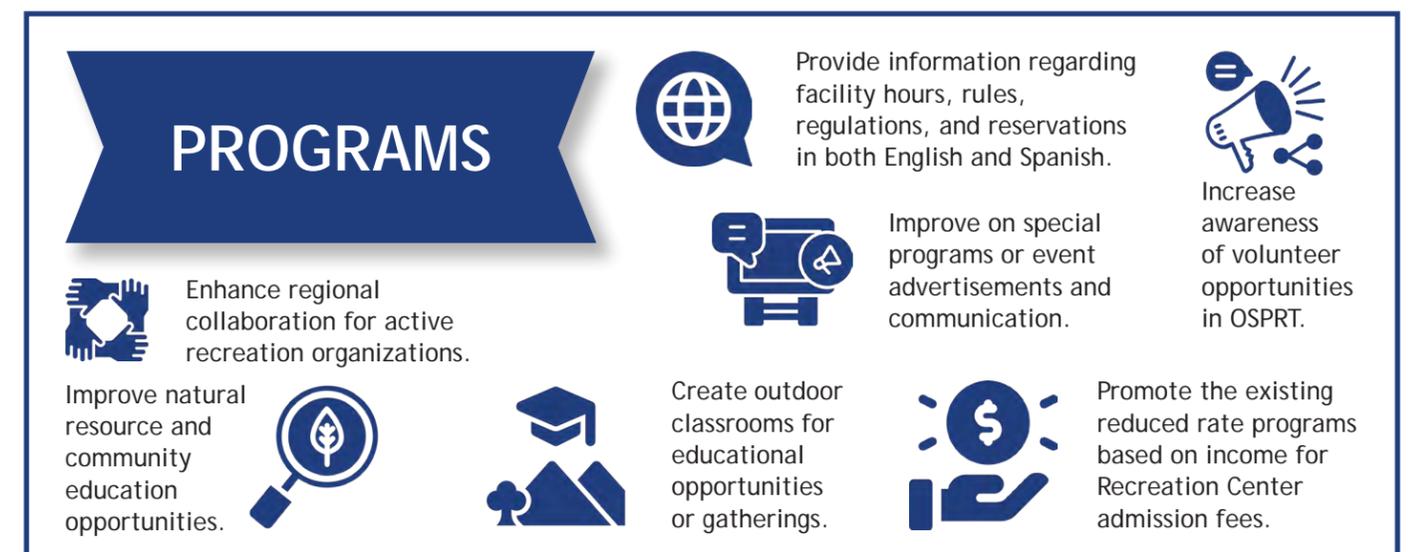
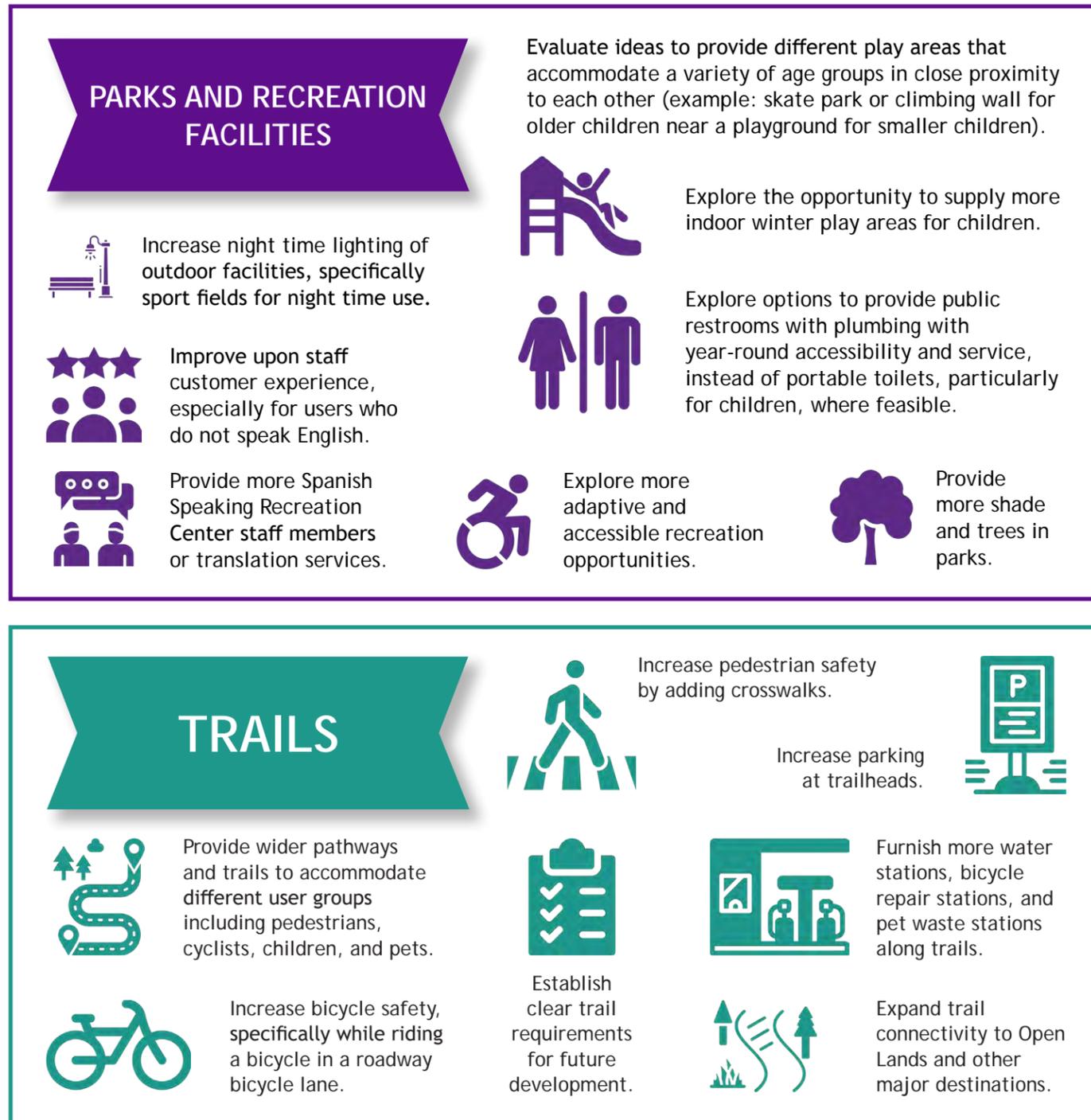


Figure 8: Additional Outreach Efforts Map

3.2 COMMUNITY VALUES AND PRIORITIES CONCLUSIONS

Based on the Community Input, Survey Conclusions, and other feedback, Figure 9 reflects the community desires for the future of Broomfield as it relates to Open Lands including Open Space, Parks, Recreation, and Trails.

Figure 9: Community Needs Table





Chapter 4



FUTURE NEEDS

The population of Broomfield is expected to grow over the next 20 years. To meet the future needs of the community, factors including demographics, Park facilities, land acquisition, operating costs, and others have been analyzed to determine future OSPRT needs for Broomfield. This Chapter presents the potential future needs of Broomfield.

Family of Herons in Boomfield

4.1 POPULATION AND DEMOGRAPHIC ANALYSIS

The population estimate of the City and County of Broomfield in 2023 was approximately 84,000. It is estimated that Broomfield will reach an ultimate build out of approximately 124,000 by 2050, according to the City and County of Broomfield.

These projections are part of a living data set prepared by the City and County of Broomfield Community Development and were cited in the summer of 2023. The population projections are based on the number of building permits issued, and these units typically take 8-12 months to construct. As such, the projected population numbers are front loaded meaning the year or year population growth is shown approximately 1 year prior to it being realized in actual new residents.

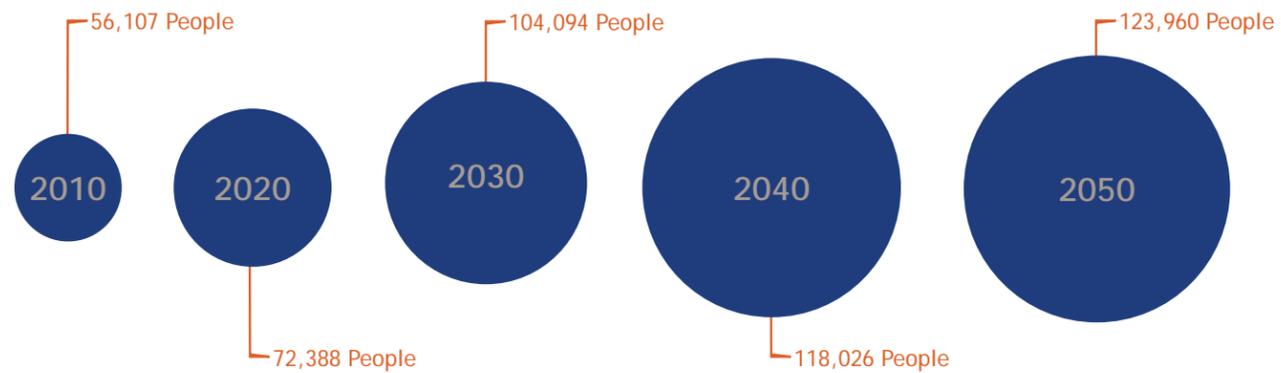


Figure 10: Population Projection Timeline

Demographics

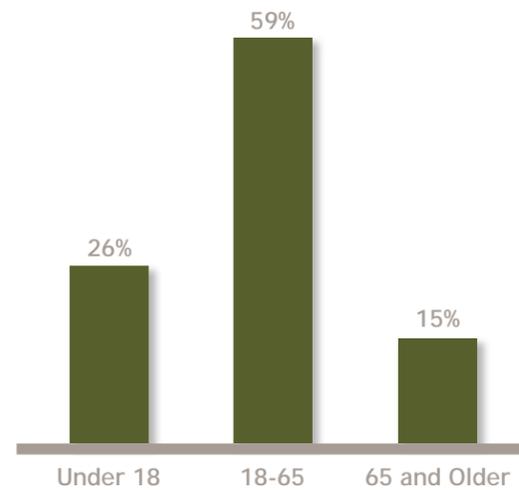


Figure 11: Broomfield Residents Age in 2021

Age

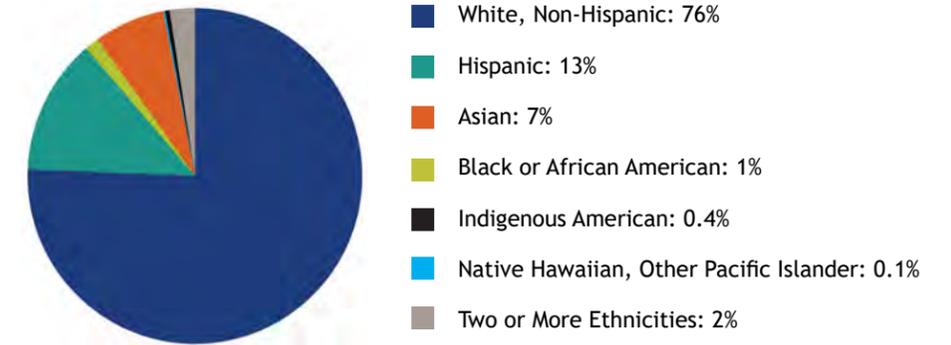
Aging has been a high-profile topic for many years. It has implications for health care, accessibility, transportation, public safety, housing, retail trade, and land use planning.

Under 18: 26%
18 to 65: 59%
65 and over: 15%

Source: Colorado State Demography Office

Race and Ethnicity

The majority of Broomfield residents identify as white, non-Hispanic. The second largest single racial group is Hispanic followed by Asian. A small percentage of residents identify as black or African American, indigenous American, native Hawaiian and other Pacific Islander, or two or more.



Source: Colorado State Demography Office

Household Size

The average household size in Broomfield is 2.54.



Median Household Income

The median household income is \$101,206.



Figure 12: Broomfield Average Household Data in 2021

Future Demographics and Population Projections

Broomfield's population of 65 and over is expected to increase from 15% of the population to 20% of the population by 2040.

The percentage of people who identify as non-white is not expected to change significantly over the next 20 years.

Source: Colorado State Demography Office

4.2 LEVEL OF SERVICE STANDARDS

A Level of Service (LOS) Standard is a tool used to determine the degree of service provided by a facility or amount of land provided. LOS is expressed in the form of units per 1,000 residents for the purposes of this plan.

Existing Park Land

CATEGORY	SIZE (ACRES)	CURRENT LOS BASED ON 84,000 RESIDENTS	FUTURE LOS BASED ON 124,000 RESIDENTS
Park Lands	1,155	13.8 / 1,000 Res.	9.3 / 1,000 Res.

Figure 13: Park Lands Level of Service Chart

Park Land LOS

Figure 13 shows that Broomfield currently has a high LOS for Park lands, especially when compared to other municipalities in Colorado. According to the 2023 National Recreation and Park Association (NRPA) Agency Performance Review, a typical agency with 100,000 to 250,000 residents offers 8.9 acres of Park land per 1,000 residents. The 2005 OSPRT Plan stated the goal of achieving 16 acres of Park land per 1,000 residents as well.

At the future projected build out of 124,000 residents, Broomfield will have 9.4 acres of Park Lands per 1,000 residents. This will technically be above the 2023 NRPA average of 8.9 acres per 1,000 residents for a community with 100,000 to 250,000 residents. Refer to the 2023 National Recreation and Park Association (NRPA) Agency Performance Review for more information.

Facilities LOS

Figure 14 shows the number of current facilities in Broomfield's Parks and Joint Use Schools and compares them to a typical agency with 100,000 to 250,000 per the 2023 (NRPA) Agency Performance Review.

Broomfield currently meets or exceeds all of the facilities NRPA standards with the exception of Community Centers.

At the future projected build out of 124,000 residents, Broomfield will still exceed the NRPA standards for all facilities with the exception of Community Centers. One additional Community Center may be needed in the future.

Location of Parks in relation to accessibility and equity are also key considerations. Certain areas of the community still lack Parks and Recreation Facilities as noted in the survey feedback and subsequent sections of this Plan.

Existing Facilities

FACILITIES TYPE	NUMBER OF FACILITIES	CURRENT LOS BASED ON 84,000 RESIDENTS	2023 NRPA TARGET LOS STANDARD	MEETS OR EXCEEDS 2023 NRPA TARGET LOS STANDARD
Active Recreation Facilities				
Diamond Fields	36	1 / 2,333	1 / 14,564	Yes
Soccer / Football Fields	59	1 / 1,424	1 / 12,875	Yes
Playgrounds	75	1 / 1,120	1 / 5,024	Yes
Skate Parks	1	1 / 84,000	1 / 110,000	Yes
Bike Park / Pump Track	2	1 / 42,000	N/A	N/A
Disc Golf Courses	2	1 / 42,000	N/A	N/A
Dog Parks	4	1 / 21,000	1 / 78,526	Yes
Basketball Courts	29	1 / 2,897	1 / 8,792	Yes
Tennis Courts	32	1 / 2,625	1 / 7,797	Yes
Volleyball	5	1 / 16,800	1 / 40,667	Yes
Golf Courses *	6	1 / 14,000	1 / 114,842	Yes
Pickleball Courts	8	1 / 10,500	1 / 29,836	Yes
Aquatic Facilities				
Water Park	1	1 / 84,000	N/A	N/A
Splash Pad	1	0	N/A	N/A
Fishing Areas	8	1 / 10,500	N/A	N/A
Passive Facilities				
Shelters, Pavilions, or Gazebos	59	1 / 1,424	1 / 2,000	Yes
Amphitheaters	1	1 / 84,000	1 / 121,000	Yes
Indoor Facilities				
Meeting Rooms	17	1 / 4,941	N/A	N/A
Gymnasiums	2	1 / 42,000	1 / 54,125	Yes
Indoor Playground	1	1 / 84,000	N/A	N/A
Recreation Centers	2	1 / 42,000	1 / 54,125	Yes
Community Centers	1	1 / 84,000	1 / 54,354	No
Aquatic Centers	2	1 / 42,000	1 / 108,843	Yes
Restroom Facilities				
Restrooms with Plumbing	13	1 / 6,462	N/A	N/A
Portable Restrooms	31	1 / 2,710	N/A	N/A

* Broomfield Parks, Recreation and Senior Services does not maintain these 6 golf courses.

Figure 14: Facilities and Programs Level of Service Chart

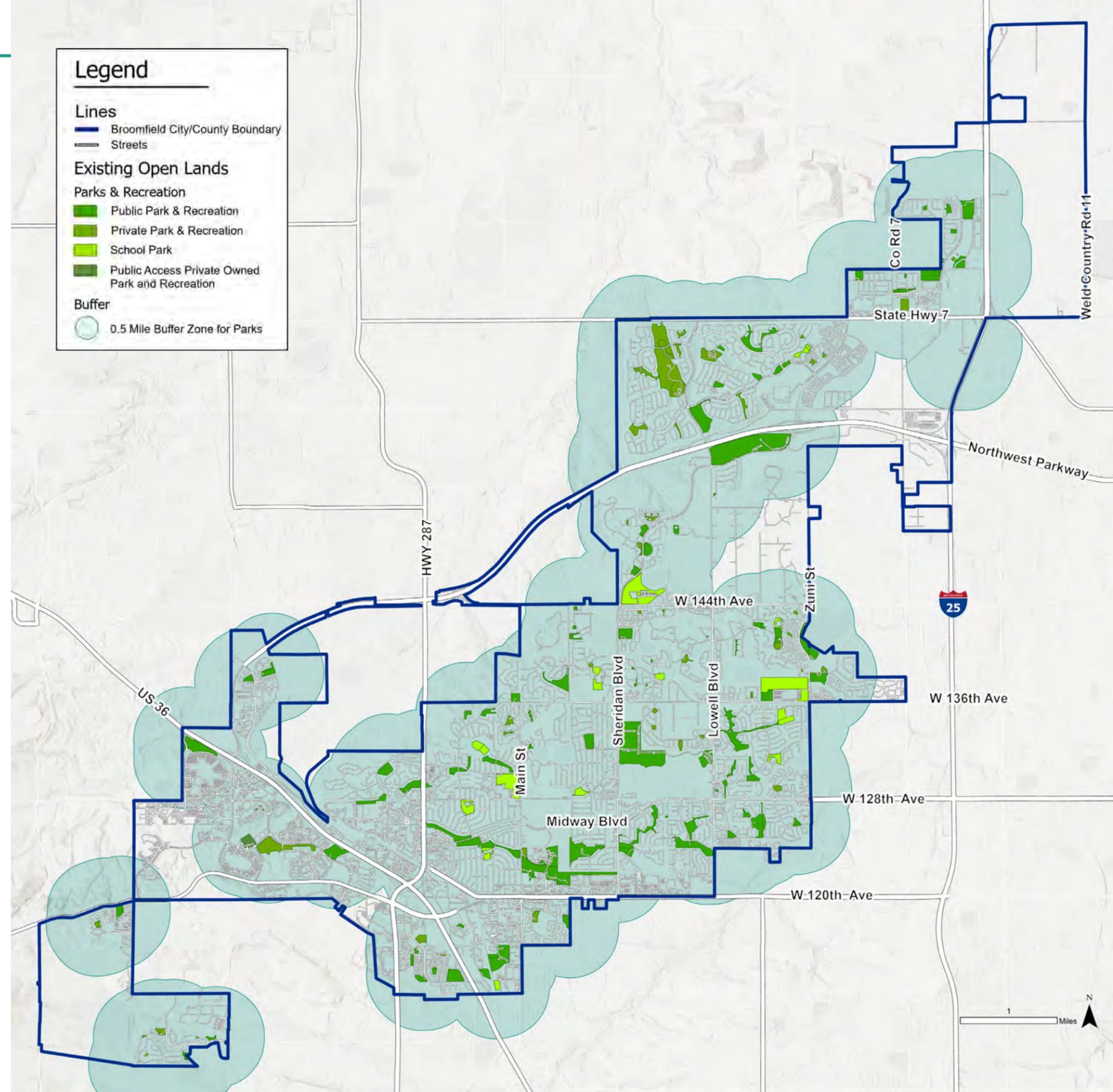
Existing Parks and Walkability

Broomfield aspires for every resident to live within a ½ mile (10-minute walk) to a Park, Open Space, or Trail as a part of creating connected public spaces. Map 11 shows the ½ mile buffer zone from each existing Park located in the City and County limits.

Most residents of Broomfield live within a ½ mile of a Park. Although Broomfield has a significant amount of Park acreage, some communities located in the northern neighborhoods of Broomfield do not have adequately located Parks in order to meet the ½ mile objective.

Large portions of this area are largely undeveloped or have agricultural uses, but will be developed in the future. A vision for adequate Park land access is key to serve these future residents.

The ½ mile buffer zone from each existing Park will also need to be further analyzed to determine if any barriers exist such as railroad tracks, major roads, or water features that may make access difficult.



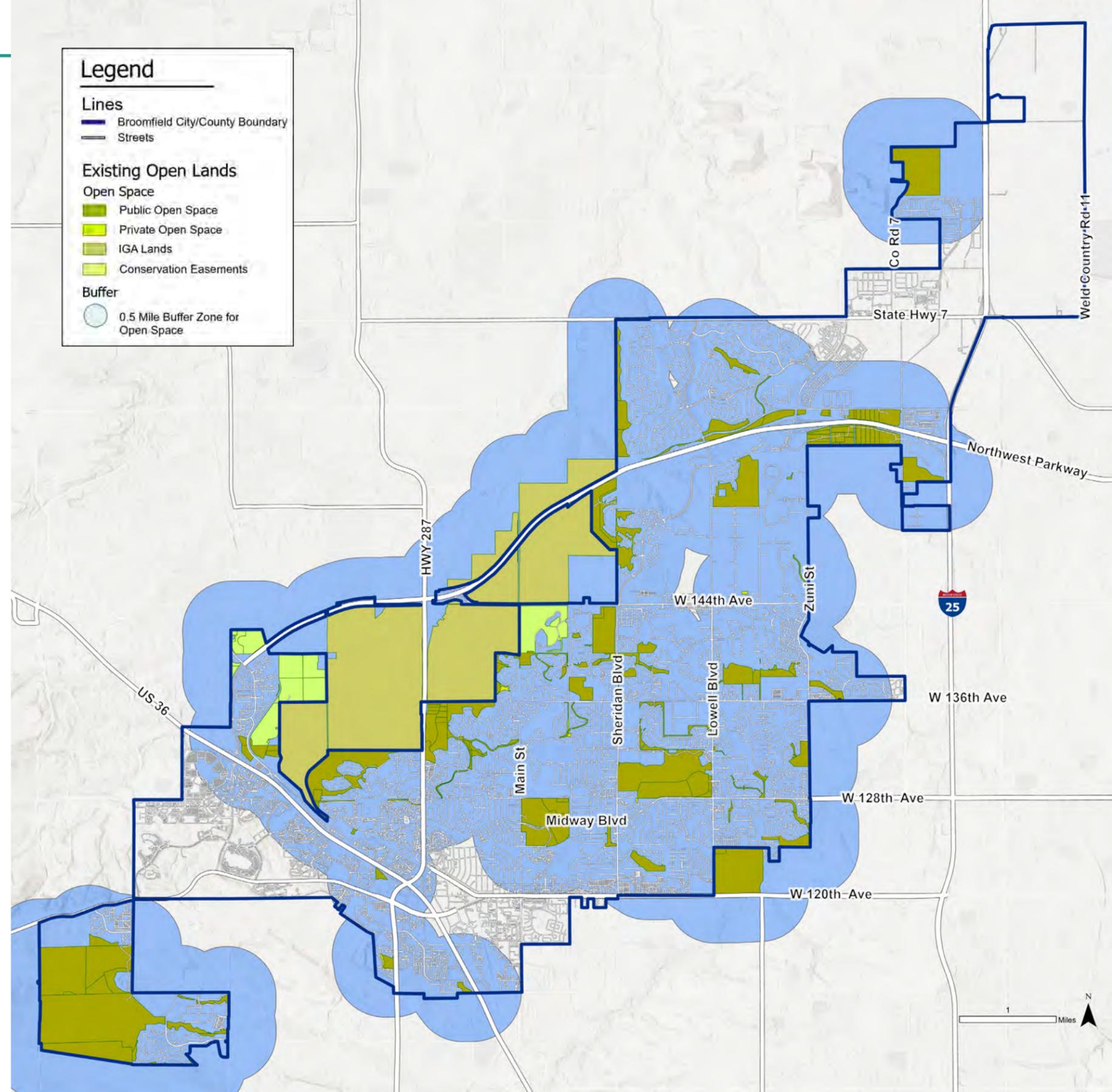
Map 11: Existing Parks and Walkability Map

Existing Open Space and Walkability

Broomfield desires to have public Open Space within a walkable distance of a ½ mile or an easy 10 minute walk. Map 12 shows Open Space sites in relation to the ½ mile buffer.

When looking at this map, further analysis of existing barriers that may make access difficult even though a site appears at first glance to be serving a wide area of residents is needed. Barriers such as railroad tracks, major roads like U.S. 36, the Northwest Parkway, and I-25 can prevent residents from accessing the public Open Space .

The ½ mile buffer zone map is an initial step in studying accessibility, equitable distribution, and level of service. Future trail connections and potential public Open Space acquisitions that meet the Open Space Suitability Criteria are ways to address these challenges.



Map 12: Existing Open Space and Walkability Map

4.3 THE 40% OPEN LANDS OBJECTIVE

History and Context

One of the primary objectives of the OSPRT Plan is to provide 40% of Broomfield's Planning Area as Open Lands. Open Lands consist of both public and private Open Spaces, Parks, and Other Open Lands.

Broomfield has a long standing history of celebrating its Open Lands and embracing the natural environment as a part of the community's identity. Broomfield has striven to acquire and maintain Open Lands for over 35 years.

The concept of land acquisition was first introduced in Broomfield's original 1988 Plan. This plan had a goal to have 19% of lands designated as Open Space or Parks and recreation.

After the 1988 Plan was completed, the issue of Open Lands emerged as a key community priority. In 1993, a citizens' group called the Open Space Advisory Committee (OSAC) was appointed by City Council to make recommendations regarding Open Space.

In 1994, OSAC made a formal recommendation regarding Open Space issues and included a list of the top ten sites desired for acquisition that was compiled from community input and a site inventory exercise. In 1994, voters approved a one-quarter cent tax instituting the City's first dedicated revenue source for Open Space and Parks acquisition. Of the quarter-cent, 80% was earmarked for Open Space acquisition and 20% for Parks and recreation acquisition and development.

The City of Broomfield 1995 Master Plan established a goal of preserving 44% of the community planning area as Open Lands in response to community concerns. In this Plan, major roadway medians, including US 36 and the Northwest Parkway medians, were counted as Open Lands.

In 2001, Broomfield voters approved the following:

1. An extension of the one-quarter cent sales and use tax until such time as changed by the electors.
2. Clarified that the 80% designated for Open Space is designated for acquisition, protection, improvement and long-term maintenance of Open Space natural areas, wildlife habitat and trails.
3. Confirmed that the 20% portion of the tax goes to Parks and Park development.

In 2005, Broomfield staff, the newly created Open Space and Trails Advisory Committee (OSTAC) and the Parks and Recreation Advisory Committee concurred that roadway medians should not be included in the Open Lands acreage. When this type of area was excluded, the 2005 OSPRT Plan goal called for 40% of Broomfield's planning area to be in public and private Open Lands. This 40% Open Lands concept was also factored into the City and County of Broomfield's Financial Plan during the 2005 planning process.

The 40% concept from the 2005 OSPRT Plan continues to be a prominent topic today as a primary objective of the 2024 OSPRT Plan. Public engagement noted general support for continuing to acquire Open Lands to ensure all residents have access to Parks and Open Space.

It is a powerful message that Broomfield remains dedicated and passionate about preserving and maintaining the unique character of the community through its Open Lands.

Achieving the 40% Objective

The 40% Open Lands objective equals 9,555 acres. Broomfield currently has 8,607 acres of Open Lands. This is approximately 36% of the total Planning Area.

In order to meet the 40% Open Lands objective, Broomfield would need to acquire an additional 4%, or 948 acres of land. When pending or planned public land dedications are deducted, the remaining balance to achieve the 40% Open Lands objective is 759 acres.

The 40% Open Lands objective may be met in three primary ways:

LAND ACQUISITION

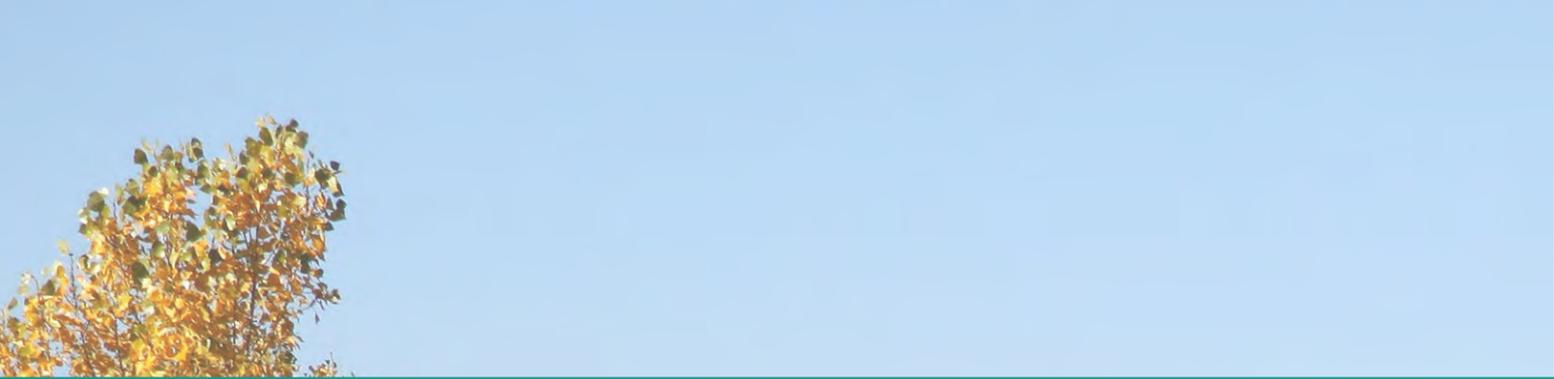
One primary method that may be used to achieve the 40% Open Lands objective is land acquisition by purchase. Broomfield may acquire properties that are best suited for future Open Lands. Acquisition is based on several factors, including criteria related to Open Space suitability, Park suitability, and feasibility.

PUBLIC LAND DEDICATION

Requiring Public Land Dedication (PLD) for new residential development is another primary method that may be used to achieve the 40% Open Lands objective. Continuing to require land dedication as a part of residential development or redevelopment ensures that these Open Lands are accessible to the overall community and the new residents.

OTHER SOURCES

A variety of other sources including grants such as the Great Outdoor Colorado Grants, partnerships with other governments, and PLD Cash-In-Lieu received during the planning process are used to achieve the 40% Open Lands objective.



Chapter 5



RECOMMENDATIONS

Based on the future needs of Broomfield, recommendations for land acquisition, Parks and recreation facilities, Open Space, trails, and sustainable management and maintenance guidelines have been determined. Action Items help clearly outline the steps needed to make the recommendations come to fruition.

The OSPRT Plan Summary Map shows current and future Park, Open Space, and trail locations and shall be used as a guiding document for the future.

Brunner Farm House

5.1 LAND ACQUISITION

Suitability Criteria

The suitability criteria for land acquisition have been updated from the 2005 Plan. These criteria are intended to help identify quality sites that may be candidates for future acquisition. Land acquisition is one method of achieving the 40% Open Lands objective.

Separate evaluation criteria have been developed for Open Space and Parks that reflect the community values and plan goals. Figure 15 and Figure 16 both show the various criteria that are used to evaluate potential land acquisition sites or properties.



Broomfield County Commons Park

Feasibility Criteria

An additional set of criteria that addresses feasibility of acquisition are applied once sites are ranked according to the suitability criteria. The feasibility criteria are analyzed internally to Broomfield and are not included in the OSPRT Plan, but are outlined in the 2005 Plan in Exhibit 5.3.

The feasibility criteria may adjust over time to include considerations such as the property owner's willingness to sell, level of community support, partner participation, or other factors.

Staff may re-evaluate the priority sites against the criteria and adjust priorities accordingly.



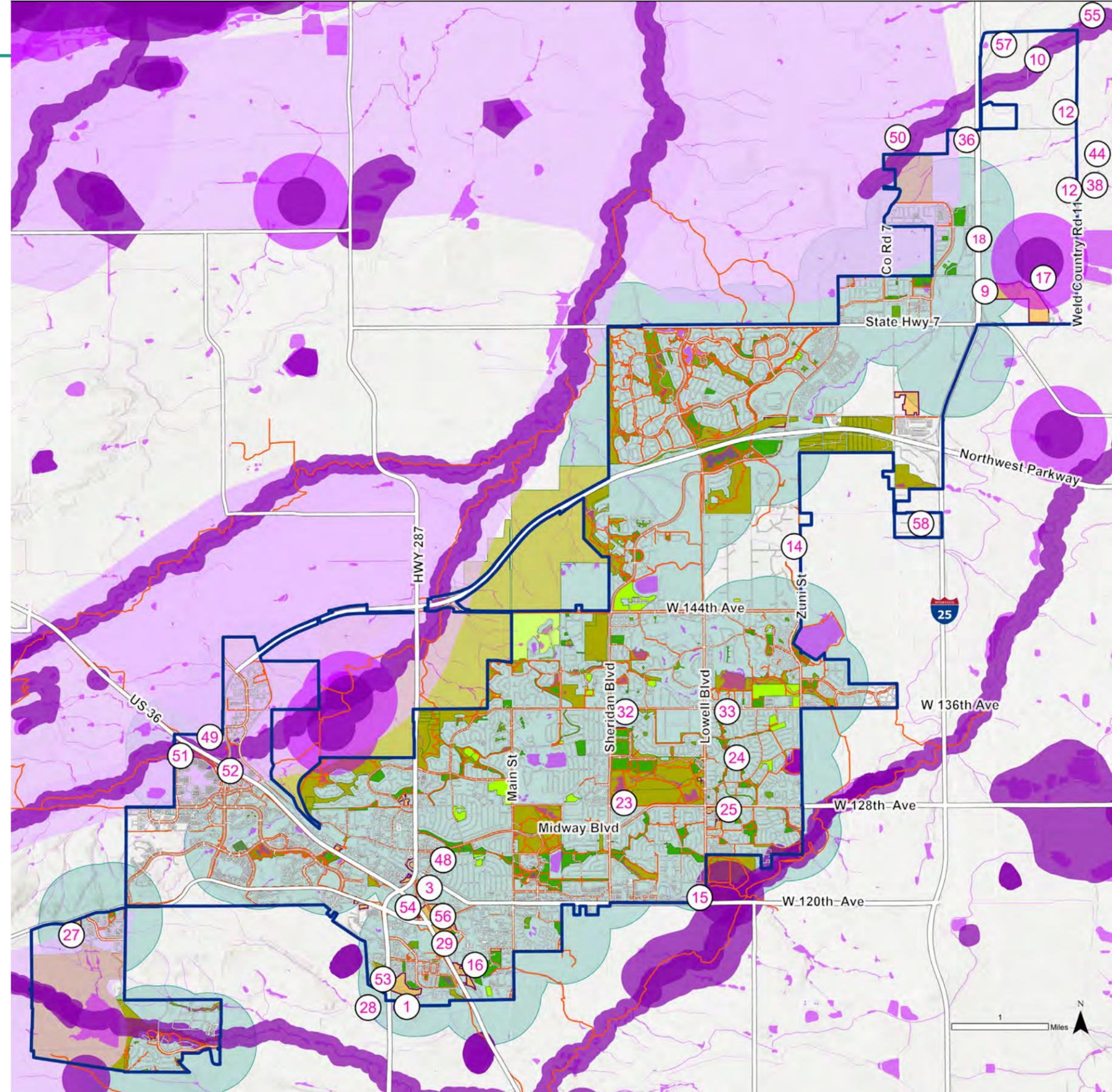
Potential Land Acquisition Site in Northern Broomfield

Land Acquisition Priority Lists

Based on the land acquisition suitability criteria analysis listed below, potential land acquisition sites have been listed in order of priority for both Open Space and Parks and recreation development. The potential site locations and applicable criteria data are shown on Map 13.

This map shows the natural resources analysis, existing Parks, Open Spaces, Trails, and prairie dog preserves. It also shows the ½ mile buffer zone for Parks. The numbered circles identify the potential opportunities for land acquisition. The contributions these potential acquisition opportunities provide to the overall Parks and Open Space system are described in more detail in the following 5.2 and 5.3 subsections.

The Suitability Criteria for Open Space and the Suitability Criteria for Parks/Recreation were reviewed and refined by OSTAC and PRSSAC.



Map 13: Land Acquisition Site Location Map

Open Space Suitability Criteria

Criteria	Objective	Description	Points	Weight
1. Scenic Land Quality	Preserves significant natural features, scenic quality, or views and promotes community identity	<u>High</u> – Land is scenic, covers a ridgeline, provides a backdrop to a prominent landscape such as Rocky Mountains or foothills, or is in the viewshed of an important entryway into or corridor through Broomfield. <u>Medium</u> – Land provides scenic quality or enhances the image of Broomfield, but is not a major entryway or viewshed. <u>Low</u> – Land does not contribute to scenic quality of Broomfield.	High (3) Medium (2) Low (1)	3
2. Equity	Located in or within a 1/4 mile of an area that has the greatest level of vulnerability per the DRCOG Vulnerable Populations Database	<u>High</u> – Score of 5 or above <u>Medium</u> – Score of 3-4 <u>Low</u> – Score of 1-2	High (3) Medium (2) Low (1)	3
3. Connectivity	Create a system of connected Open Spaces, Parks, trails, and community facilities throughout Broomfield	<u>High</u> – Land is adjacent to existing and future planned Open Lands or an existing or future key Regional or Community Trail corridor. <u>Medium</u> – Land is adjacent to existing or future planned Open Lands. <u>Low</u> – Land is not adjacent to existing or future planned Open Lands.	High (3) Medium (2) Low (1)	3
4. Environmental Quality and Wildlife Habitat Value	Protect environmental quality, including critical wildlife habitat and natural features	<u>High</u> – Land provides habitat for wildlife (e.g., may include a significant rare, threatened, or endangered species population, or significant habitats or plant communities, or may serve as a wildlife movement corridor) and it contains unique natural features such as: large mature trees and stands of trees; wetlands and other water features such as streams, ponds, and lakes; geologic formations, such as rock outcrops; native or indigenous vegetation. <u>Medium</u> – Land contains at least one unique natural feature listed above. <u>Low</u> – Land does not appear to provide important or significant habitat or include unique natural features.	High (3) Medium (2) Low (1)	3
5. Located on the OSPRT Plan Map	Acquire properties that are located on the OSPRT Overall Plan as potential Open Lands prioritized by Broomfield	N/A	Yes (3)	2
6. Agricultural Land	Conserve agricultural lands and foster an awareness of Broomfield’s history as a farming community	Land is currently in agricultural or ranch use, contains high or medium quality soils (based on SCS system), and/or is irrigated land.	Yes (3)	2
7. Sizable	Provide a visual green buffer, wildlife connectivity and a mix of opportunities for conservation and passive recreation with larger parcels	<u>High</u> – Land area is larger than 100 acres, or is physically connected to other Open Space or Park land, making it functionally larger. <u>Medium</u> – Land area is between 50 and 100 acres, or is physically connected to other Open Space or Park land parcels. <u>Low</u> – Land area is less than 50 acres.	High (3) Medium (2) Low (1)	2
8. Historical, Cultural, or Archaeological Value	Preserve historical, cultural, or archaeological resources	Land contains historic resources, known archaeological resources, or is of significant cultural value.	Yes (3)	1
9. Green Edge	Create a buffer between Broomfield and other communities	Location of land contributes to the creation of a green edge around Broomfield.	Yes (3)	1
10. “Passive Recreation and/or Education Value”	Provide passive recreation and educational opportunities	<u>High</u> – Land offers unique passive recreation and/or educational opportunities. <u>Medium</u> – Land may offer some passive recreation or educational opportunities. <u>Low</u> – Land is not likely to be of value for passive recreation or education.	High (3) Medium (2) Low (1)	1

Figure 15: Open Space Land Acquisition Suitability Criteria

Parks and Recreation Suitability Criteria

Criteria	Objective	Description	Points	Weight
1. Park Suitability	Addresses the need for either a City/County Wide, Community, Neighborhood, or Specialized Park as identified on the OSPRT Plan Map	<u>High</u> – Land is in a future Park location per the OPSRT Plan Map and meets the minimum size criteria for the type of Park it is intending to fulfill. <u>Medium</u> – Land is either in a future Park location per the OPSRT Plan Map or meets the minimum size criteria for the type of Park it is intending to fulfill. <u>Low</u> – Land is not in a future park location per the OPSRT Plan Map and does not meet the minimum size criteria for the type of Park it is intending to fulfill.	High (3) Medium (2) Low (1)	3
2. Equity	Located in an area that has the greatest level of vulnerability per the DRCOG Vulnerable Populations Database. To comply with future CCOB Criteria and Definitions. Local knowledge shall also be considered in this particular criteria.	<u>High</u> – Score of 5 or above <u>Medium</u> – Score of 3-4 <u>Low</u> – Score of 1-2	High (3) Medium (2) Low (1)	3
3. Scenic Land Quality	Preserves significant natural features, scenic quality, or views and promotes community identity	<u>High</u> – Land is scenic, covers a ridgeline, provides a backdrop to a prominent landscape such as Rocky Mountains or foothills, or is in the view-shed of an important entryway into or corridor through Broomfield. <u>Medium</u> – Land provides scenic quality or enhances the image of Broomfield, but is not a major entryway or view-shed. <u>Low</u> – Land does not contribute to scenic quality of Broomfield.	High (3) Medium (2) Low (1)	2
4. Connectivity	Create a system of connected Open Spaces, Parks, trails, and community facilities throughout Broomfield	<u>High</u> – Land is adjacent to existing or future planned Open Lands or an existing or future Regional or Community Trail corridor. <u>Medium</u> – Land is adjacent to existing or future planned Open Lands. <u>Low</u> – Land is not adjacent to existing or future planned Open Lands.	High (3) Medium (2) Low (1)	2
5. Accommodates Specialized Active Recreation Facility	Address needs for specialized recreation facilities as identified in the OSPRT Plan	<u>High</u> – Area is appropriately sized to accommodate desired number of playing areas and program elements as described in Park Design Standards. <u>Medium</u> – Area is appropriately sized and could accommodate required program elements. <u>Low</u> – Area does not meet size standards, or could not accommodate required program elements.	High (3) Medium (2) Low (1)	2
6. Walkability	The location meets the 1/2 mile (10-minute walk) objective	Land is located in an area that currently does not meet the 1/2 mile (10-minute walk) objective per the OSPRT Plan Map	Yes (3)	2
7. Terrain and Development	Acquire Park land that can accommodate intended uses without extensive earthwork and has access to readily available utilities and services	<u>High</u> – Area is highly suitable for intended uses, with minimal infrastructure improvements or earthwork required. <u>Medium</u> – Area can accommodate intended uses with modest infrastructure improvements or earthwork required. <u>Low</u> – Area could not accommodate intended uses without infrastructure improvements or earthwork.	High (3) Medium (2) Low (1)	1
8. Minimizes parking and circulation impacts	Minimize traffic and parking impacts to adjacent neighborhoods from intended Park use	<u>High</u> – Area can accommodate intended Park use without significant traffic and parking impacts. <u>Medium</u> – Area can accommodate intended park use with some traffic and parking impacts that could be mitigated. <u>Low</u> – Area could not accommodate intended park use without creating significant parking or traffic impacts.	High (3) Medium (2) Low (1)	1

Figure 16: Parks and Recreation Land Acquisition Suitability Criteria

Based on the Land Acquisition Suitability Analysis, the following sites are the “Top Ten” priority sites to acquire if possible. It is important to note that many other sites that are noted in Appendix G also offer opportunities to meet community goals for Open Space, Parks, and Other Open Lands, Trails and Recreation. Factors such as price, owner’s willingness to sell, available funding, etc. impact the feasibility of land acquisition. The top ten list is not intended to be addressed in sequential order for acquisition. See Appendix G for more detailed information.

Map 14 shows the “Top Ten” priority sites for Open Space and Parks. Figure 17 and 18 show the “Top Ten” sites for Open Space and Parks listed in order of priority.

TOP TEN ACQUISITION SITES FOR OPEN SPACE

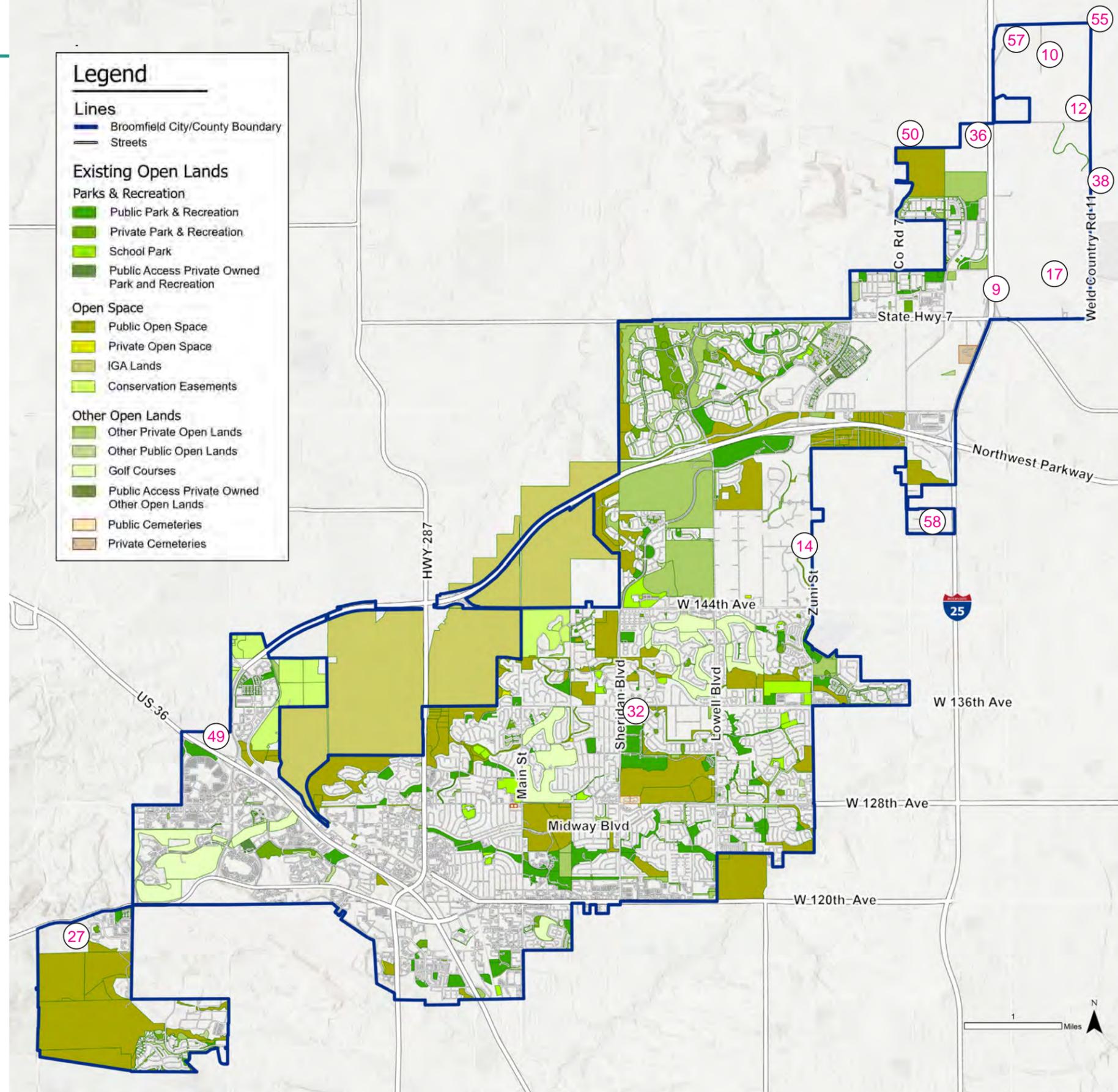
PRIORITY NO.	SITE NO.	NAME OR DESCRIPTION	PRIORITY SCORE
1	10	I-25 and Weld County Road 8	60
2	9	Preble Creek Drainage and I-25	58
3	12	Bull Canal/County Rd. 6	58
4	36	Weld County Road 4 and West of I-25	55
5	55	Summit Boulevard aka County Road 8	55
6	57	Southeast of I-25 Ramp and Summit Boulevard	52
7	27	Northwest of Great Western Reservoir	52
8	17	Weld County Road 11 and East of I-25	51
9	49	NE of US 36/West of 96th Street	47
10	50	North of Harmer Open Space, WCR 7 and WCR 6	47

TOP TEN ACQUISITION SITES FOR PARKS

PRIORITY NO.	SITE NO.	NAME OR DESCRIPTION	PRIORITY SCORE
1	36	Weld County Road 4 and West of I-25	45
2	10	I-25 and Weld County Road 8	43
3	17	Weld County Road 11 and East of I-25	43
4	38	East of Weld County Road 11	41
5	50	North of Harmer Open Space, WCR 7 and WCR 6	40
6	58	Huron Street and West 152nd Avenue	40
7	57	Southeast of I-25 Ramp and Summit Boulevard	38
8	32	West 136th Avenue and Sheridan Boulevard	37
9	14	West 144th Avenue and Zuni Street	36
10	55	Summit Boulevard aka County Road 8 and East of County Road 11	36

Figure 17: Open Space Land Acquisition Priority List

Figure 18: Parks and Recreation Land Acquisition Priority List



Map 14: “Top Ten” Open Space and Parks Land Acquisition Sites Location Map

Annual Reporting System to Track Acquisition Progress

Finally, to measure and track annual progress in meeting the Open Lands objective, the OSPRT Plan recommends the continuation of the annual reporting system. This system of updating the statistics on Open Lands should continue to track increases in the conserved Parks, Open Space and Other Open Lands.

Acquisitions that utilize the Parks and Open Space Sales and Use Tax should continue to be tracked by the joint effort of the Open Space Department and Finance Department.



Potential Land Acquisition Site in Northern Broomfield

5.2 PARKS AND RECREATION FACILITIES

Future Parks

Based on the current location, size, and types of existing Parks within Broomfield, future Parks locations have been suggested to best fit the needs of anticipated community growth. Please see Map 15 for these suggested future Park locations.

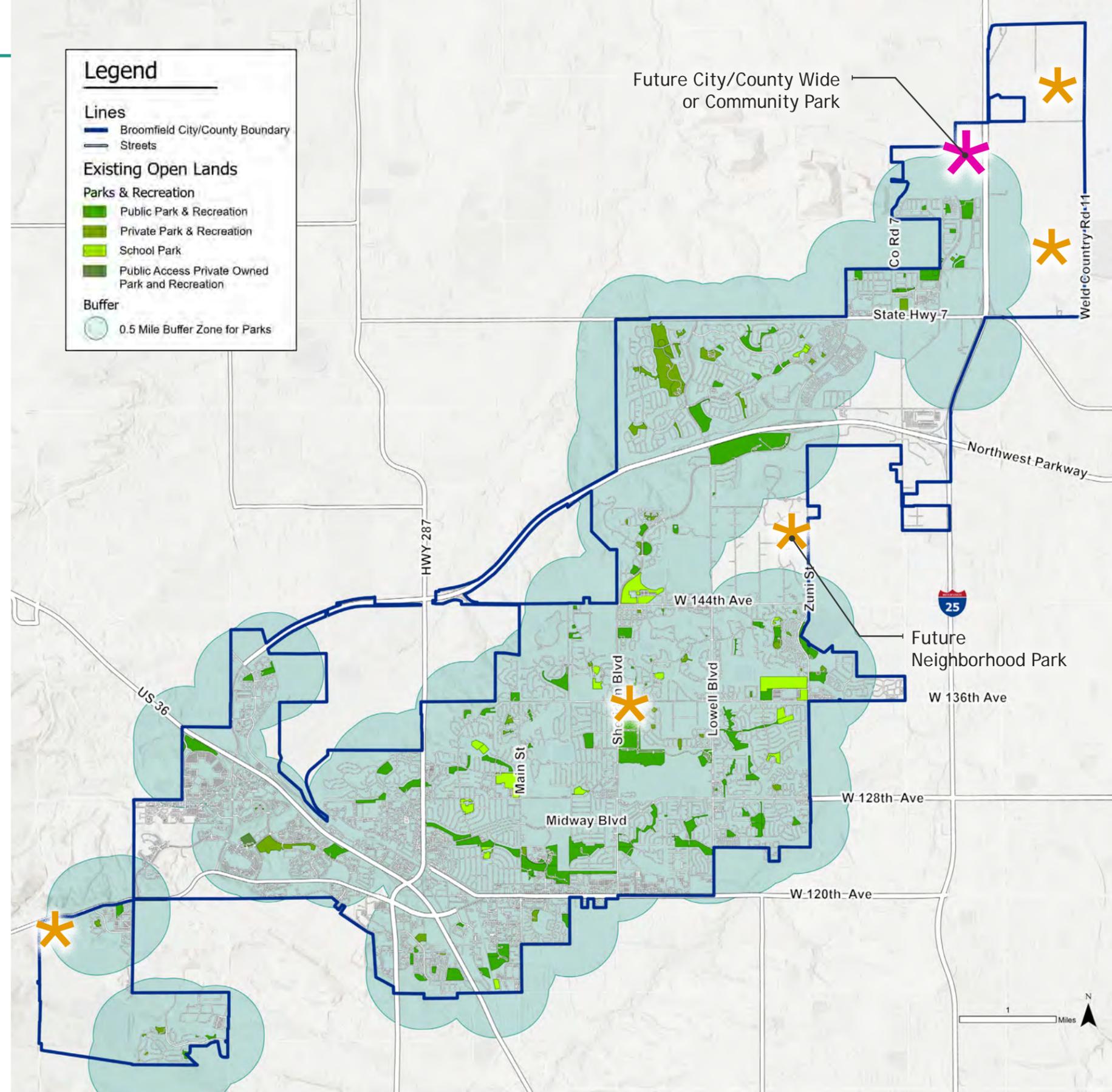
Future City/County Wide or Community Park Location

A City/County Wide, Community Park, or Specialized Park should be located in the northern vicinity of Broomfield to serve the northern residents.

Future Neighborhood Park Location

Neighborhood Parks, Joint School Parks, Pocket Parks, or Village Greens should be located throughout the northern areas of Broomfield.

Note that the future Park locations are conceptual in nature only and are meant to demonstrate the location intent. The final location of future Parks will be determined at the time of the Park development.



Future Recreation Facilities

Based on the Level of Service (LOS) analysis, budgeting analysis, community needs, and input from Broomfield Staff, the following recreation facilities are recommended:

- RECREATION CENTER OR FIELD HOUSE LOCATED IN NORTH EAST BROOMFIELD
- HIGH SCHOOL BASEBALL FIELDS
- SOFTBALL FIELDS
- SOCCER / FOOTBALL FIELDS
- PICKLEBALL COURTS OR COMPLEX
- OUTDOOR BASKETBALL COURTS
- BIKE PARKS (EXAMPLES: BMX, PUMP TRACK OR SINGLE TRACK)
- AMPHITHEATER

Additional facilities and /or amenities may be required based on programming and usage (i.e Baseball or Multi-use Fields).

Figure 19: Future Recreation Facilities List

Park Typologies and Design Standards

To ensure that facilities are constructed that reflect Broomfield's commitment to quality, design standards have been developed to guide Parks construction. These standards address size, location, typical facilities, parking, and amenities for the following Park typologies:

CITY/COUNTY
WIDE PARK

COMMUNITY
PARK

NEIGHBORHOOD
PARK

JOINT SCHOOL
PARK

POCKET
PARK

VILLAGE
GREEN

SPECIALIZED
PARK



Country Estates Park in Broomfield

CITY/COUNTY WIDE PARK

Purpose and Intent

These are the community's signature Parks, by virtue of their size, location, unique natural resources or setting, or facilities provided.

Size Range

80 Acres Minimum

Service Area

City and County of Broomfield

Location and Proximity

If possible, in close proximity to Open Spaces and residents while minimizing impacts on adjacent neighborhoods to increase visibility and walkability.

Access and Visibility

Serviced by arterial and collector streets on at least two sides of the Park. Access via the trail system of Broomfield should be provided per the Trail Plan and Design Standards. Access via public transit or alternative transportation options such as a regional bus stop or a mobility hub should be provided. Consider installation of public transit stops at trailheads located within or directly adjacent to the Park. Most of the Park should be visible from adjoining streets.

Desired Programming and Facilities

Programmed athletic sports fields, swimming pools recreation centers, open play areas, multi-use pavilions, areas of undeveloped land with natural vegetation or water features, cultural, educational, or interpretive facilities, "one of a kind" facilities such as conservatory, horse trails, arboretum, special event areas, golf courses, dog parks, performance areas, public art, restrooms.

Other Design Considerations

Off street parking should be distributed among one or more parking lots. Bike repair stations should be provided. Permanent plumbed restrooms and water fountains should be provided. Primary amenities or facilities should be lighted for night time use if deemed appropriate.

COMMUNITY PARK

Purpose and Intent

Community Parks are intended to serve the community and be accessible to multiple neighborhoods. These Parks should provide a broad range of community-based facilities.

Size Range

20 - 80 Acres

Service Area

2.5 Mile Radius

Location and Proximity

In close proximity to residents while minimizing impacts on adjacent neighborhoods.

Access and Visibility

Serviced by collector and local streets on at least two sides of the Park. Access via the trail system of Broomfield should be provided per the Trail Plan and Design Standards. Access via public transit or alternative transportation options such as a regional bus stop or a mobility hub is encouraged. Most of the Park should be visible from adjoining streets.

Desired Programming and Facilities

Programmed athletic sports fields, swimming pools recreation centers, open play areas, multi use pavilions, cultural, educational, or interpretive facilities, playgrounds for varying age groups, special event areas, golf courses, skate parks, dog parks, performance areas, water features, public art, restrooms, gazebos/shade structures, picnic areas, seating, trash receptacles.

Other Design Considerations

Between 25% and 35% should be planned as undeveloped space for informal play to afford needed visual breaks in the city, particularly when located along major thoroughfares. Bike repair stations should be provided. Permanent plumbed restrooms and water fountains should be provided. Primary amenities or facilities should be lighted for night time use if deemed appropriate.

NEIGHBORHOOD PARK

Purpose and Intent

Neighborhood Parks provide a mix of active and passive recreational activities. They have a social focus on the neighborhoods in which they are located and are considered a “walk-to” facility.

Size Range

3 - 20 Acres

Service Area

1/2 Mile Radius

Location and Proximity

Within a residential development or adjacent to an elementary or middle school.

Access and Visibility

Serviced by a local street on at least one side. Access via the trail system of Broomfield should be provided per the Trail Plan and Trail Design Standards. Should be located in close proximity to public transportation. Neighborhood Parks are expected to be accessible within walking or bicycling distance, and so should provide appropriate bicycle facilities and on or off street multi use paths to support such access.

Desired Programming and Facilities

Open play fields, playgrounds for varying age groups, water features, public art, restrooms, gazebos/shade structures, picnic areas, seating, trash receptacles.

Other Design Considerations

Limited on or off street parking may be provided. The parcel should also be regularly shaped to facilitate multiple uses. Permanent plumbed restrooms and water fountains should be provided pending access to utilities. If utility access is not possible, portable restrooms should be provided.

JOINT SCHOOL PARK

Purpose and Intent

Provide primarily for active recreation and play, and are co-located with an elementary, middle, or high school.

Size Range

Elementary: 5 - 8 Acres, Middle: 8 - 12 Acres, High: 12 - 15 Acres

Service Area

Area served by the associated school

Location and Proximity

Co-located with elementary, middle, or high schools and as such should be centrally located to serve adjacent residential neighborhoods.

Access and Visibility

Serviced by arterial and collector streets. Access via the trail system of Broomfield should be provided per the Trail Plan and Design Standards. Access via public transit is encouraged. Strong pedestrian and bicycle linkages to the neighborhood should be provided.

Desired Programming and Facilities

Multiple playing fields, tennis or basketball courts, playgrounds or play equipment, open lawn areas, shade structure/picnic area, and amphitheaters and indoor gymnasiums associated with the school. Depending on size, restrooms are desired. Off street parking is provided and shared with the school.

Other Design Considerations

N/A

POCKET PARK

Purpose and Intent

Specialized facilities that serve individual neighborhoods. This type of Park should be considered as an alternative where providing a typical neighborhood Park is impractical or infeasible.

Size Range

1 - 3 Acres

Service Area

1/2 Mile Radius

Location and Proximity

In densely populated developed residential areas. The site should be centrally located within the surrounding neighborhood.

Access and Visibility

Access via the trail system of Broomfield should be provided per the Trail Plan and Design Standards. Access via public transit is encouraged. Strong pedestrian and bicycle linkages to the neighborhood should be provided.

Desired Programming and Facilities

Playgrounds or play equipment, public art, restrooms, gazebos/shade structures, picnic areas, seating, trash receptacles, seating, turf areas.

Other Design Considerations

It is preferred that adjacent residences face the Park site to provide a secure environment.

VILLAGE GREEN

Purpose and Intent

Outdoor spaces that serve primarily the social needs of an individual neighborhood. May include central squares, plazas, central greens, linear parks, or other outdoor gathering areas.

Size Range

0.25 - 1 Acre

Service Area

1/2 Mile Radius

Location and Proximity

Located within highly developed or densely populated areas redevelopment areas, infill development areas, or Transit Oriented Development (TOD) areas.

Access and Visibility

Serviced by a local street on at least one side. Access via the trail system of Broomfield should be provided per the Trail Plan and Design Standards. When part of a TOD, access to public transit should be provided. If not, access via public transit is encouraged. Strong pedestrian and bicycle linkages to the neighborhood should be provided.

Desired Programming and Facilities

Turf grass areas, picnic tables, benches, playgrounds, gazebos/shade structures, trash receptacles, public art, hardscape plazas, focal points (decorative fountains, monuments, banners or flags); special paving, seating, highly decorative site furniture. Optional facilities may include a small stage area for public presentations/performances or multi use pavilions.

Other Design Considerations

Limited or off street parking should be provided. Central greens shall be maintained by an HOA, special district, or other similar type of entity.

SPECIALIZED PARK

Purpose and Intent

Intended to cover areas of heavily programmed athletic activities, ranging from a sports complex with multiple fields, to a single use area like a skateboard park or BMX track.

Size Range

Varies

Service Area

City and County of Broomfield

Location and Proximity

Located within reasonable and equal driving distance from populations served. Should be sited adjacent to non-residential land uses where feasible.

Access and Visibility

Serviced by major thoroughfares, arterial and collector streets. Access via the trail system of Broomfield should be provided. Access via public transit is highly encouraged. Consider installation of public transit stops at trailheads located within or directly adjacent to the Park. Access routes from outside the community should be considered.

Desired Programming and Facilities

Programmed athletic sports fields, swimming pools recreation centers, open play areas, multi use pavilions, water parks, bike parks, pump tracks, skating rinks, multi-purpose buildings, dog parks, performance areas, water features, public art, restrooms, gazebos/shade structures, picnic areas, seating, trash receptacles.

Other Design Considerations

Off street parking should be provided commensurate with anticipated level of use and size of the site.



Nature Play at McKay Lake Park

5.3 OPEN SPACE

Future Open Space Areas

Future Open Space acquisition opportunities have been identified per the land acquisition analysis. Map 16 shows the top twenty Open Space acquisition sites. Please refer to Appendix G for more information.

Equitable access to Open Space as well as Parks should not only consider the ½ mile buffer zone but also if residents can easily access the Parks and Open Space. Barriers such as Interstate-25, U.S. 36, the Northwest Parkway, State Highway 7, U.S. 287, State Highway 128, railroad tracks, and major irrigation ditches can prevent access within the ½ mile buffer zone. The barrier factor should be considered when looking at actual access to Parks and Open Space. The trail prioritization criteria also note the importance of trails in minimizing the impact of these types of barriers.



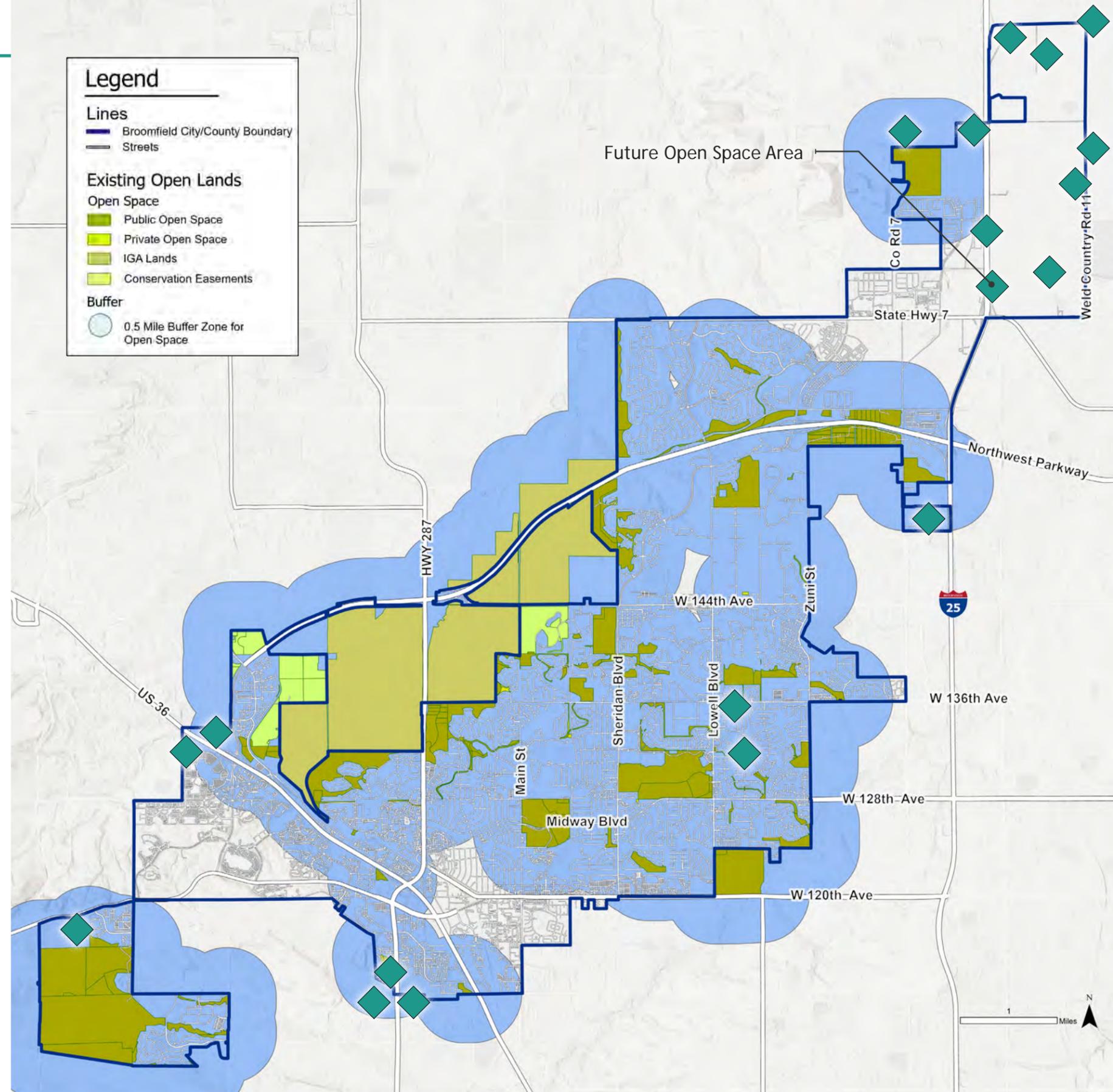
Future Open Space Area

Open Space Areas will provide for:

- The protection of valuable natural resources
- Opportunities for residents to enjoy nature
- The conservation of wildlife habitat
- Passive recreation
- A well-connected trail network
- Residents physical and mental well-being

Locations in the community where Open Space conservation is of particular interest include the northern area of Broomfield, US 36 and SH 128 corridors, areas that will augment existing Open Space, and several infill areas in the existing developed areas of Broomfield. The preservation of natural resources such as Little Dry Creek and Preble Creek also informed the identification of future open space areas.

Note that this map shows future opportunities for Open Space acquisition. Due diligence research and collaboration with land owners are important steps related to the completion of any land acquisition.



Map 16: Existing and Future Open Space Location Map

Baseline Conditions and Management Planning

To ensure that public use is compatible and sustainable with each Open Space parcel's natural features, the OSPRT Plan recommends a Baseline Management Plan or Open Space Plan that includes maintenance provisions and allowed uses on the property for each major Open Space property. An assessment of baseline ecological conditions shall be conducted for each significant Open Space property owned and managed by Broomfield.

The plans assess the natural and cultural resources of a site and Open Space uses such as trails that are compatible with these resources. These plans are helpful for future visioning, design, and enhancement of major Open Space areas. Each plan shall assess the ecological value and quality of a site and identify opportunities for potential enhancement, restoration, and sustainable maintenance needs of the site.

The Open Space properties listed below in Figure 20 are proposed for future Open Space Plans.

FUTURE CANDIDATES FOR OPEN SPACE PLANS

Great Western Reservoir

Lac Amora Open Space

Harmer Open Space

Nordstrom/Davis Open Space

Huron Open Space

Figure 20: Future Baseline Management Plan List



Community Ditch at Harmer Open Space

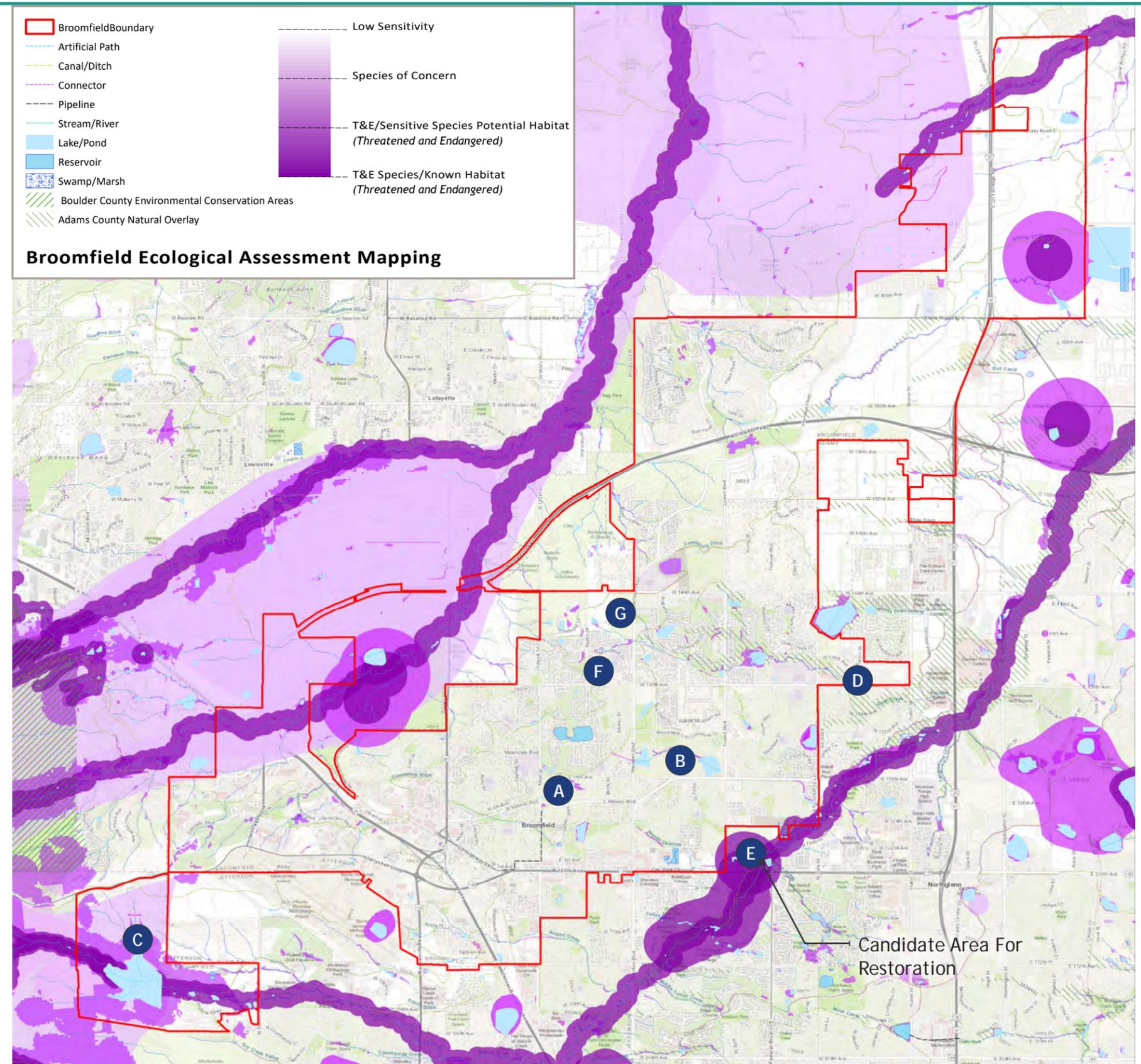
Candidate Areas for Ecological Restoration/Habitat Enhancement

Based on the existing natural resources in Broomfield, existing areas that support high value habitat and use, and further input from Broomfield Staff, candidate areas for restoration have been identified throughout Broomfield.

Broomfield should continue to seek out these restoration opportunities while also considering existing City and County properties for restoration and enhancement. Below are a few examples of existing properties that could benefit from restoration and enhancement. The locations of these areas are shown on Map 17.

- A The Field Open Space**
Continued restoration and monitoring of native grassland, trees, and shrubs as noted in the Field Open Space Plan.
- B Broomfield County Commons**
The Broomfield County Commons Open Space Management Plan outlines opportunities for phased restoration over time.
- C Great Western Reservoir**
Continued restoration and monitoring of native grasslands north of the reservoir.
- D Quail Creek Drainage**
Continued restoration along the drainage east of Plaster Reservoir.
- E Metzger Farm**
Continued joint maintenance and monitoring with the City of Westminster as defined in the Metzger Farm Open Space Management Plan.
- F Markel Open Space**
Implement restoration practices to bring back native grassland of the Markel Open Space area.
- G Wottge Open Space**
Restoration over time and monitoring of native grassland, trees, and shrubs.

Continued enhancement and restoration of critical drainageways include Big Dry Creek, Rock Creek, Preble Creek, and other drainage ways.



5.4 TRAILS

Trails Missing Links

The 2005 Plan originally identified missing trail “links”, or portions of trail that are not yet constructed, to ultimately achieve the comprehensive community wide trail system envisioned in the plan. The trails missing links map and trails link list have been updated in this OSPRT Plan based on what has been completed since the 2005 Plan, what missing links still remain, and what new missing links have been added since then. Better trail connectivity also supports Broomfield’s sustainability goal to provide alternative transportation to vehicular travel by encouraging cycling and walking.

The list of missing links has been ranked based on a set of prioritization criteria that have also been updated since the 2005 Plan with the guidance of OSTAC, PRSSAC and Broomfield staff. These criteria are shown in Figure 21 and help to arrange the missing links in order of priority to complete.

Ultimately, a “Top Twenty” list has been created to show what missing links should ideally be completed first, if possible. However, if opportunities arise to provide a missing trail link that is not in the Top Twenty trails, the trail connection should still be considered for implementation.

More detailed information of the trails missing links prioritization analysis and map can be found in Appendix E.



Broomfield Trail Adventure (Broomfield.org)

Trails Missing Link Prioritization Criteria

Environmental Criteria	Objective	Rating or Points Assignment	References, Comments, Other Sources to Consult
1. Environmental Impact Reduction and Revitalization Enhancement	Reduces environmental impacts of trails and/or enhances or revitalizes environmentally sensitive areas	2: Either reduces environmental impacts of trails OR enhances or revitalizes environmentally sensitive area 3: Either reduces environmental impacts of trails AND enhances or revitalizes environmentally sensitive area	Does the project formalize an existing social trail and/or reduce erosion in an existing area? Does the project include design or management features to reduce impacts when encroachment is unavoidable? Design features could include boardwalks, hardened tread surfaces, or turnpikes. Seasonal trail closures and requirements to stay on the trail are examples of possible management practices. Does the project avoid environmentally sensitive areas such as Nesting Sites, Wetlands, Grasslands, or other areas? Does the project maintain and respect the boundaries of important habitat by carefully aligning a trail to minimize disruption to plant communities and wildlife?
Experience and Access Criteria	Objective	Rating or Points Assignment	References, Comments, Other Sources to Consult
2. School Connectivity	Project creates connection to school(s) throughout Broomfield	1: Located within 1/2 mile of a School Site 2: Located within 1/4 mile of a School Site 3: Located directly adjacent to a School Site	Is this project located along a trail corridor within 1/2 mile of a school site? Does the project improve an existing trail condition to meet the needs of the trail facility type?
3. Equity	Project is located in an area that has the greatest level of vulnerability	1: Score of 1-2 2: Score of 3-4 3: Score of 5 or above	This criterion's scores are based on the DRCOG Vulnerable Populations Database Map (DRCOG Map). The scores on the DRCOG map reflect the prevalence of regional average vulnerable populations that include older adults, minorities, poverty, language challenged, children, individuals with a disability, and households without a vehicle. CCOB Data may also be used to evaluate this criteria.
4. Barrier Elimination	Overcomes barriers to the trail network of Broomfield	2: Addresses a minor barrier such as an intersection that lacks crosswalks or crosswalks with flashers and addresses a public safety concern 3: Addresses a major barrier such as railroad tracks, creek/drainage, or major corridor such as SH 7 or US 36 and addresses a public safety concern	Does the project overcome or reduce a barrier to trail and bike accessibility such as U.S. 36, the BNSF Railroad tracks, or major arterials, ditches, creeks or waterways? Does it improve existing conditions to address public safety and access concerns?
Mobility and Transportation Criteria	Objective	Rating or Points Assignment	References, Comments, Other Sources to Consult
5. Major Trail Network	Project is located within and/or improves the Major Trails of Broomfield	3: Community or Regional Trail	Trails Include US 36 Bikeway, Broomfield Trail, North Broomfield Loop Trail, Lake Link Trail, Northwest Parkway Trail, Southeast Community Loop Trail, Baseline Neighborhood Trail, Rock Creek Trail, Coal Creek Trail, Big Dry Creek Trail, and Coalton Trail.
6. Open Lands Connectivity	Project is located on the Community or Neighborhood Trails of Broomfield and Connects to a major Open Lands Destination	3: Connects to 1 Destination 4: Connects to 2 Destinations 5: Connects to 3 or more Destinations	Is the project located on a Community or Neighborhood Trail that connects to a Community Park, Neighborhood Park, Recreation Center, Existing Trailhead, Open Space Property, or Destination such as a wildlife viewing area, historic site, fishing area, or major viewshed?
7. Key Public Service/ Commuting Connectivity	Project is located on the Community or Neighborhood Trails of Broomfield and Connects to a Key Public Service Destination	2: Connects to 1 Destination 3: Connects to 2 Destinations 4: Connects to 3 or more Destinations	Is the project located on a Community or Neighborhood Trail that connects to commercial and retail centers, civic centers, employment centers, healthcare centers, or other Key Public Service areas or commuting locations?
8. Mobility and Transit	Link to the transit and mobility systems of Broomfield	1: Located within 1/2 mile of a local or regional bus stop 2: Located within 2 miles of a current or future BRT station or mobility hub 3: Located within 1 mile of a current or future BRT station or mobility hub	Does the project connect to a major mobility hub, RTD Bus station, or other regional multi-modal transportation system? Does it improve access/connectivity to the current or planned Regional BRT/transit network? Does it improve or close gaps or improve access per the DRCOG Regional Active Transportation Network? Does it improve access or connectivity to car share programs, micromobility, or other future mobility options?

Figure 21: Trails Missing Link Prioritization Criteria

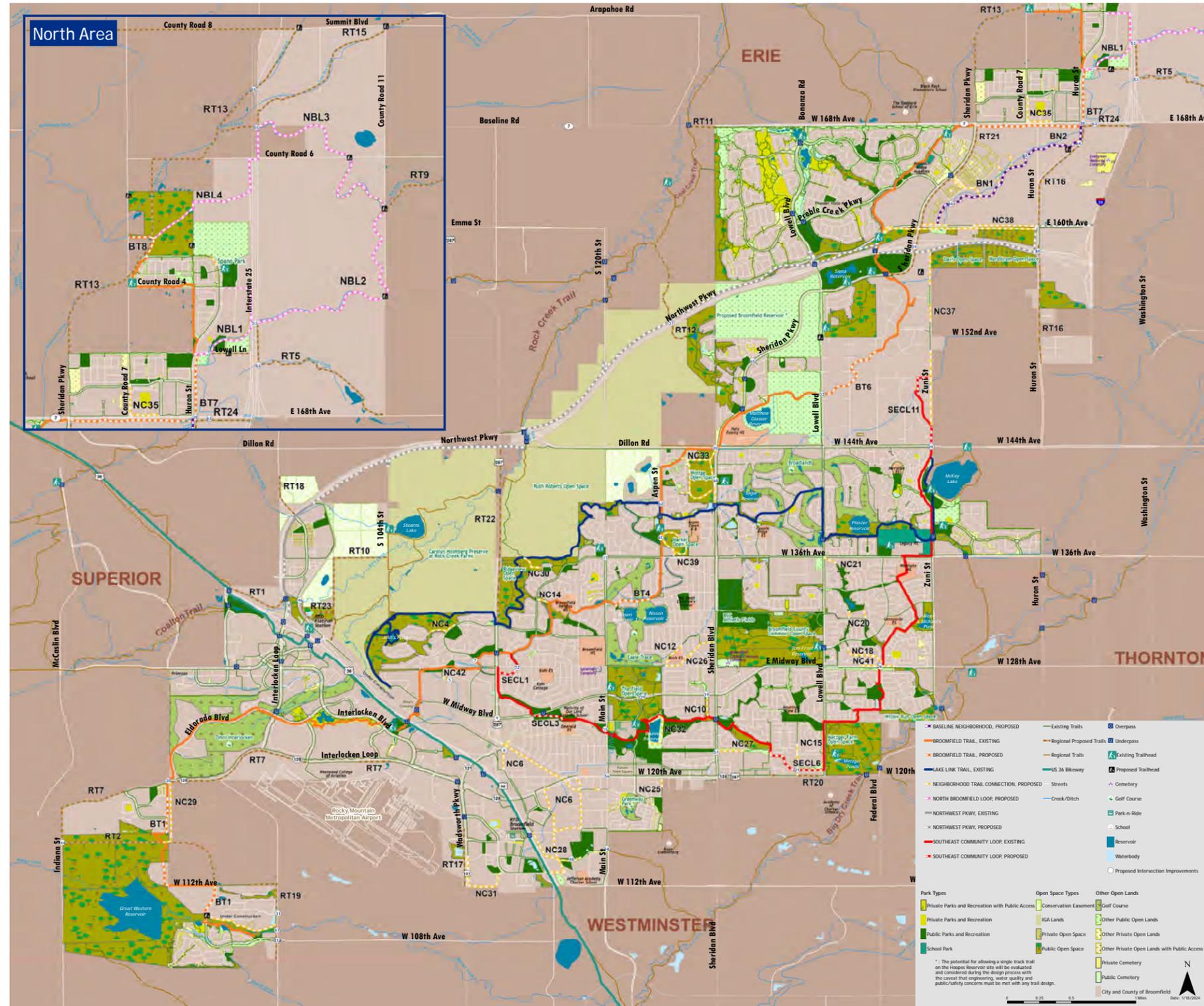
Trails Missing Links Prioritization List

Based on the prioritization standards, Figure 22 shows the “Top Twenty” missing links to be completed. Map 18 shows their corresponding locations on the Missing Trail Links Map. As Broomfield develops, particularly in the northeastern area, the trails should be re-evaluated and scored to reflect changing community dynamics.

PRIORITY NO.	REFERENCE CODE	TRAIL NAME	PRIORITIZATION SCORE
1	SECL6	Connection from Wal-mart/Broomfield Corners/Tennyson ROW to Lowell underpass at Metzger Farm	23
2	NC28	Trail connection from BIP ballfields to the US-36 pedestrian bridge, using future Airport Creek underpass	22
3	BN-1	Trail along the Baseline Open Lands corridor at W. 160th to Huron Street	21
4	BN-2	Trail from Huron Street in Baseline Open Lands to Highway 7	20
5	BT6	Connection from Lowell Blvd. along Community Ditch to Spruce Meadows at High Prairie Way	19
6	NC20	Trail connection between King Circle and The Trails pond area	19
7	RT11	SH 7 Trail at NW Corner of Anthem Ranch to the Coal Creek Underpass	18
8	RT23	Rock Creek underpass, West Midway to Brainard connection	18
9	RT-22	Trail connection along Highway 287 from Miramonte to Dillon Road	18
10	RT16	Huron NW Parkway to Westminster Open Space	17
11	NC6	Connections along Commerce St., 120th, and BIP Area	16
12	SECL3	Improved connection across Midway Park	16
13	NBL-1	Trail from Lowell Lane and Huron along the Bull Canal, to Interstate-25 and north to Spano Park	16
14	NC32	Brunner Reservoir Trail, south and east sides	15
15	RT1	96th St. to Highway-36 Bikeway and Louisville	15
16	RT20	120th Avenue Sidewalk Connections from Lowell Blvd. to N. Perry St.	15
17	BT7	Connection from Highway 7/Huron to I-25	15
18	RT-24	Huron Street east to Interstate-25, along south side of Highway 7	15
19	RT12	Wildgrass trail at Northwest Parkway to Boulder County and Rock Creek/Coal Creek Trail	14
20	RT13	Sheridan to I-25 via Community Ditch and Little Dry Creek	14
21	RT21	Sheridan sidewalk/trail Anthem Community Park to Hwy 7	14

Figure 22: Top Twenty Trails Missing List

Note that there is potential for a Single Track Trail at Proposed Broomfield Reservoir Site.



Map 18: Missing Trail Links Map

Overpass, Underpass, and Enhanced Crossing Priority List

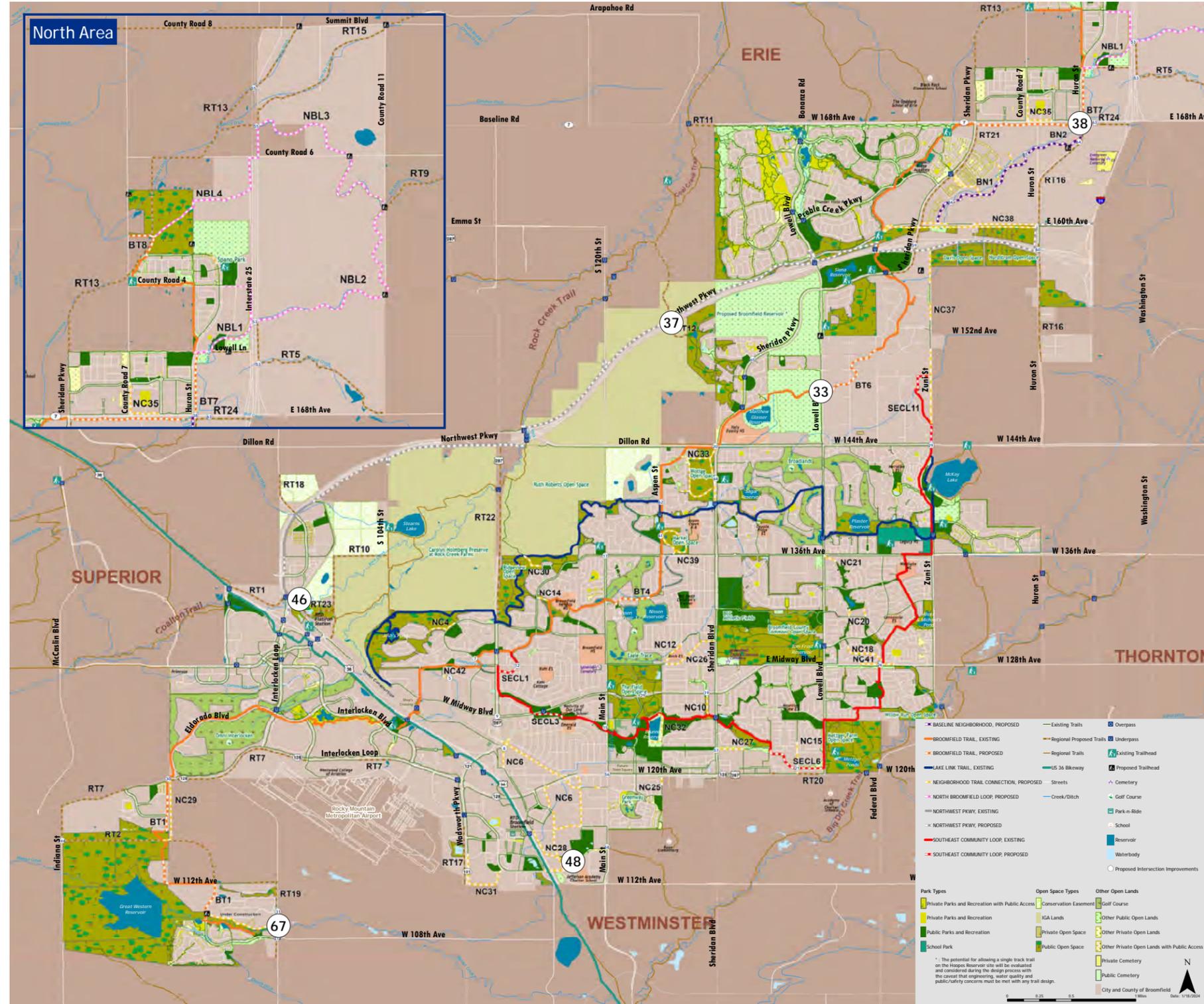
Based on the City and County of Broomfield staff expertise, the following overpasses, underpasses, and enhanced crossings have been identified as priority projects to complete. A comprehensive list of overpass, underpass, enhanced crossings related to the Trail System can be found in Appendix E.

PRIORITY NO.	REFERENCE CODE	FACILITY NAME
1	48	Airport Creek at BIP Ballfields and 112th Avenue
2	37	Wildgrass Underpass and Trail to Rock Creek and Coal Creek Regional Trails
3	46	Rock Creek Underpass/or Crossing/Sidewalk Improvements at Midway Boulevard to Brainerd Drive
4	33	Underpass or Crossing at Community Ditch and Lowell Blvd to Spruce Meadows at High Prairie Way
5	38	Underpass in vicinity of SH 7 and Huron Street
6	67	Walnut Creek at Skystone Parkway and Simms Street

Figure 23: Priority Overpass, Underpass, and Enhanced Crossing Priority List



Underpass at US 287



Proposed Trail Design, Management and Maintenance Standards

This section presents the completed comprehensive community trails system, refines existing design standards for different trail types, and refines existing management and maintenance standards so that the system can be maintained adequately.

Reflecting what was heard in the community outreach efforts, the OSPRT Plan aims to provide a highly connected system of trails that connect major OSPRT, employment, and lifestyle destinations in Broomfield and the greater mobility systems of the region.

The trail system itself is envisioned as a recreation facility, offering a diverse system of long and short routes for a variety of users. A connected trail system also supports Broomfield's goal of reducing vehicle-related carbon emissions by facilitating multimodal transportation via cycling and walking.

Map 18 shows the ultimate future trails of Broomfield. The proposed trail system recommends a hierarchy of trail types that include regional trails, community trails, and neighborhood trails. The proposed system provides routes for long and short loops and adequate facilities to accommodate different user groups including pedestrians, cyclists, and others. Typical sections for these trail types and other information can be found in the trail types and design standards subsection of this chapter.

MULTI-USE TRAIL TYPES

REGIONAL TRAILS - Regional links connect Broomfield to adjacent municipalities and the wider regional trails and mobility systems.

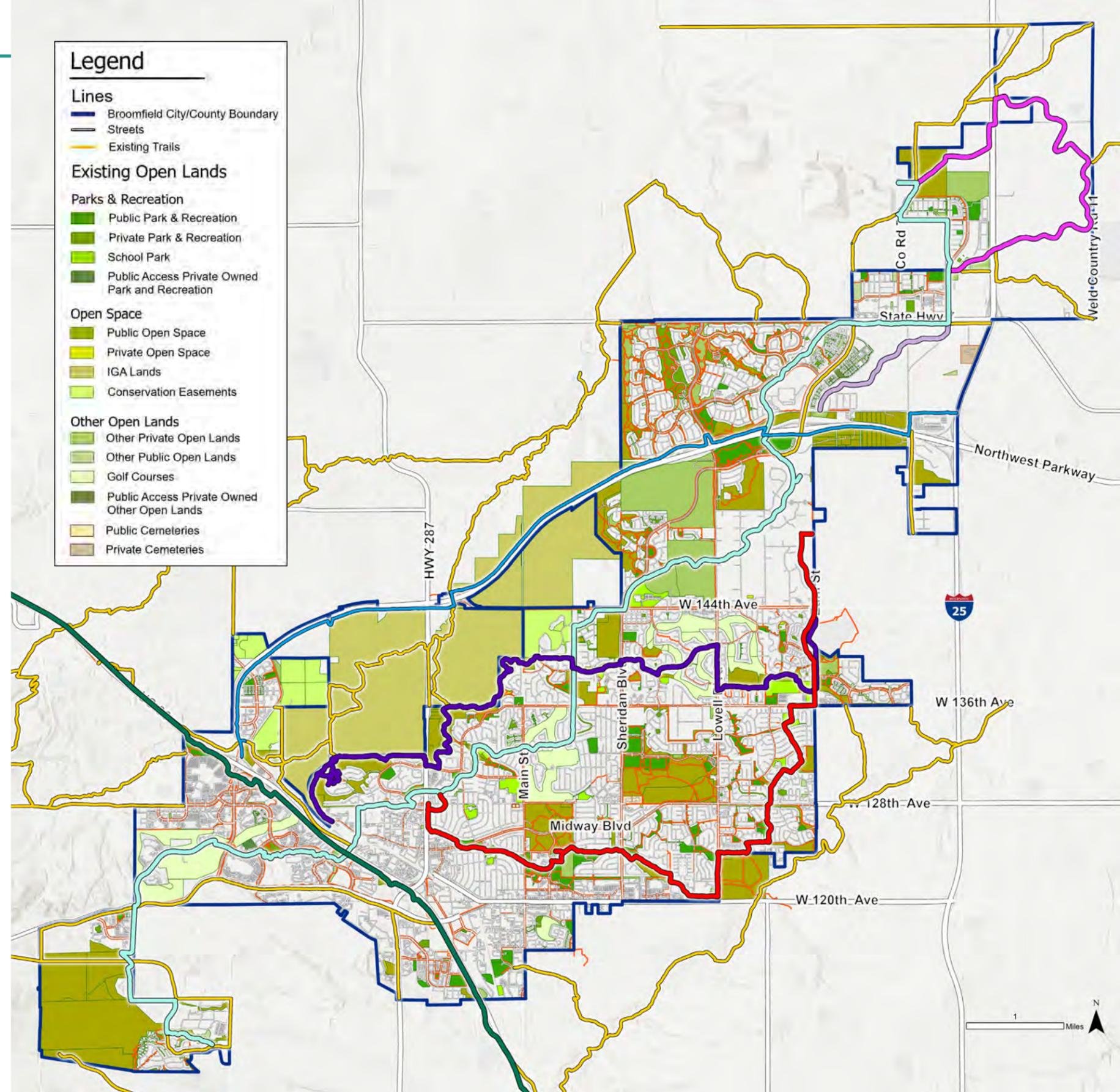
-  US 36 BIKEWAY (COMPLETED)
-  REGIONAL TRAILS

COMMUNITY TRAILS - Community trails provide short and long recreational loops that connect existing destinations within Broomfield.

-  BROOMFIELD TRAIL
-  NORTH BROOMFIELD LOOP TRAIL
-  LAKE LINK TRAIL (COMPLETED)
-  NORTHWEST PARKWAY TRAIL
-  SOUTHEAST COMMUNITY LOOP TRAIL

NEIGHBORHOOD TRAILS - Neighborhood trails provide the necessary connection to primary trail facilities. They also link together short trips in neighborhoods to destinations such as parks, schools, and local retail centers.

-  BASELINE NEIGHBORHOOD TRAIL
-  ALL OTHER EXISTING TRAILS



Map 19: OSPRT Future Completed Trails System Map

Trail Types and Design Guidelines

All trail design standards are generalized guidelines and are context sensitive. The City and County of Broomfield (CCOB) will consider context and use discretion to evaluate the appropriate width and trail surface of any new trail segment or connection.

Where new development or redevelopment projects occur adjacent to existing trail alignments, frequent access points should be provided to provide connectivity between the development and the greater trail network. In addition, trail connections should be provided to nearby amenities such as Parks, recreation centers, or other major destinations of Broomfield.

When new development and redevelopment project boundaries contain planned, but unbuilt, CCOB trail alignments, site plans should include trail development in site design. All site development plans should include a pedestrian/bike circulation plan sheet (Bike-Ped Plan). The Bike-Ped Plan should identify trail, bike lane and sidewalk widths, materials, location, trail signage, connections to adjacent trails, phasing of trail construction and the proposed plan's ability to meet ADA access requirements.

Multi-Use Trail Type Widths

- Regional: 12'-14' Minimum
- Community: 10'-12' Minimum
- Neighborhood: 8'-10' Minimum

Connection segments between a trail and the sidewalk or neighborhood streets: 8' minimum, with greater widths necessary where higher volumes are expected or in connecting to larger trails.

Primarily Pedestrian Trails

Trails in Open Space that are primarily pedestrian in use, such as a minor pedestrian interpretive trail, can be designed to a narrower standard than the multi-use trail standards in order to maintain a more rural and natural feeling. A minimum trail width of 6 feet is recommended.

Additional Width Requirements

Where user volumes are especially high, and there is a high mix of user types (bicyclist, pedestrian) trail widths may be required to be higher than the above guidelines in order to maintain a high level of service and prevent congestion.

Trail segments that may require additional width include:

- Connections across major barriers (US 36, railroads, etc.)
- Connections to Mobility Hubs
- Connections to important community destinations

If additional width is required, an optional soft-surface path for pedestrian use can be installed abutting a concrete trail. The minimum width of soft-surface, crusher fines parallel paths is 3' on one side of the trail. 5' is desirable if possible. A stabilized soft-surface path may be utilized to address maintenance, runoff, or erosion concerns.

Example situations where a parallel soft surface trail is useful:

- Where additional width is required due to congestion on an existing paved trail. In this case, some congestion must be due to pedestrians as the soft surface will not be useful to bicyclists.
- Where separation is needed or desired between bicyclists and pedestrians.
- In areas of heavy use by joggers, who may prefer a soft running surface.
- The Broomfield Trail includes a concrete and crusher fine trail design standard.

In areas that require railings, fences, walls, or other similar conditions, provide an additional 2' of clear width on either side of the trail to create space between railings, fences, walls, or other obstructions and trail users.

More detailed information for safe operating width standards may be found in Appendix D.

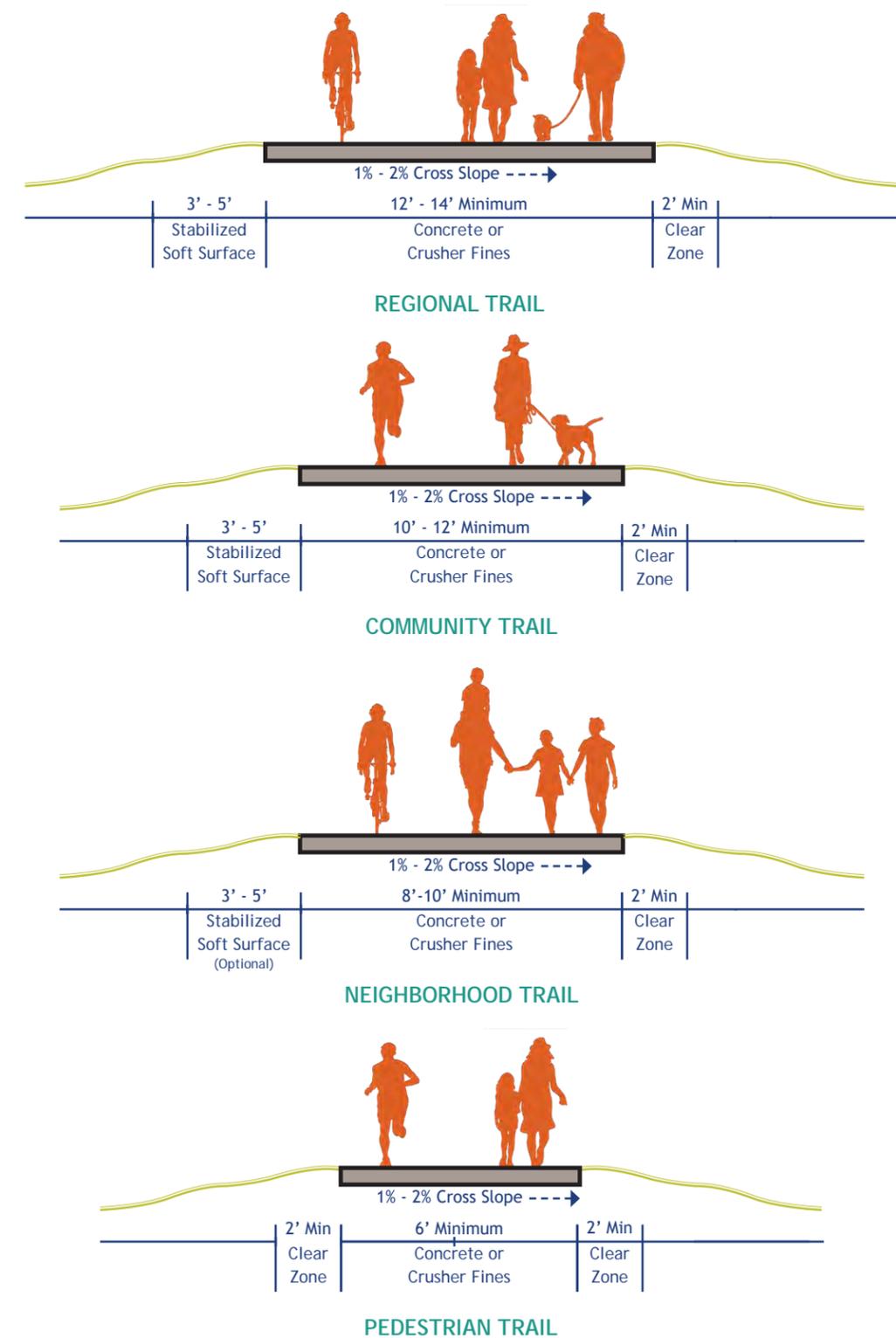


Figure 24: Trail Type Typical Cross Sections

Single Track Trails

Single track trails are designed for multiple user groups, but are intended to accommodate the experience of one user at a time. These trails are typically made of a natural surface or crusher fines, are more technical or rugged, and provide a higher quality natural trail experience.

Users

Single track trails are designed to serve non-motorized users (predominantly mountain bikers) and pedestrian users.

Design Intent and Application

These trails can accommodate a narrower width without compromising the safety or enjoyment of other trail users. If the trail is integrated into an existing slope, the trail shall be graded to direct drainage towards the downhill side of the slope. Single track trail design can also adjust to accommodate site-specific constraints such as poor sight lines, sensitive habitat areas, or steep slopes.

Width

Single track trails should be a 3' minimum in width. Access points should be 48" wide, minimum. A narrower trail may be feasible in some locations when visibility and terrain allow. The key is to allow for single track use with a width that is adequate to allow for safe passing of two cyclists.

Location

The Broomfield Reservoir Site is a potential location and has been noted on the Broomfield Missing Links Map.

More detailed information and standards may be found in Appendix D.

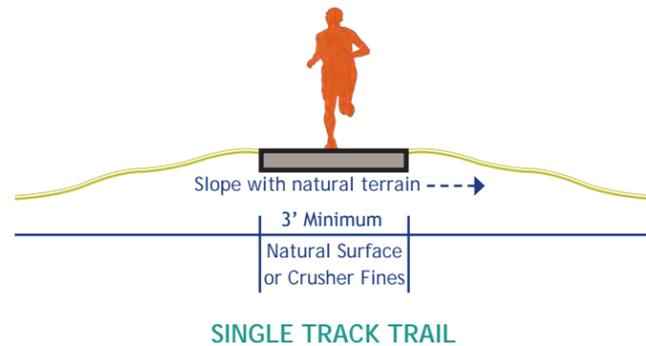


Figure 25: Single Track Trail Typical Cross Section

At Grade Crossing Locations

Where trails cross minor and major roadways, ensure crossings are safe, visible, and maintain the continuity of the trail.

- On minor roadways, consider the use of high visibility crosswalk markings such as cross walks and signage.
- On connector and arterial streets, consider the use of medians, pedestrian hybrid beacons (PHBs), or rectangular rapid flashing beacons (RRFBs) to provide more visibility and traffic control.

Refer to the FHWA document titled "STEP: Improving Visibility at Trail Crossings" for additional crossing treatment guidance. A condensed matrix of the guide's recommendations can be reviewed in Figure 26.

Additionally, consult directly with the City and County of Broomfield Transportation Engineer.

CONTEXTUAL GUIDANCE FOR TREATMENTS AT UNSIGNALIZED INTERSECTIONS/CROSSINGS

Guidance adapted from FHWA's Guide for Improving Pedestrian Safety at Uncontrolled Crossing Locations.

PEDESTRIAN CROSSING CONTEXTUAL GUIDANCE

At unsignalized locations

FACILITY TYPE	Local Streets 15-25 mph		Collector Streets 25-30 mph			Arterial Streets 30-45 mph						
	2 lane	3 lane	2 lane with median refuge	3 lane	2 lane with median refuge	3 lane	4 lane	4 lane with median refuge	5 lane	6 lane	6 lane with median refuge	
Crosswalk Only (high visibility)	✓	✓	EJ	EJ	X	EJ	EJ	X	X	X	X	X
Crosswalk with warning signage and yield lines	EJ	✓	✓	✓	✓	EJ	EJ	EJ	X	X	X	X
Active Warning Beacon (RRFB)	X	EJ	✓	✓	✓	✓	✓	✓	X	✓	X	X
Hybrid Beacon	X	X	EJ	EJ	EJ	EJ	✓	✓	✓	✓	✓	✓
Full Traffic Signal	X	X	EJ	EJ	EJ	EJ	EJ	EJ	✓	✓	✓	✓
Grade Separation	X	X	EJ	EJ	EJ	X	EJ	EJ	EJ	EJ	✓	✓

LEGEND

Most Desirable ✓

Engineering Judgement EJ

Not Recommended X

- RRFB: Rectangular Rapid-Flashing Beacon
- Hybrid Beacon: A traffic control device with a face that consists of two red lenses above a single yellow lens. Unlike a traffic signal, the hybrid beacon rests in dark until a pedestrian activates it via pushbutton or other form of detection.

Figure 26: Crossing Treatment Guidance Chart

Trail Material

- At the discretion of CCOB, connection segments may be soft surface if connecting to a soft-surface trail located in Open Space.
- Trails located in Open Space, with a primarily recreational use, will be crusher fines, except in locations where flooding and erosion are a concern. Community Trails may also be concrete as they serve a variety of users.
- Trails located outside of Open Space, used primarily for commuting to destinations, will be concrete. Concrete trails shall include a minimum 2' clear zone on both sides of the trail. The clear zone is intended to be a shoulder condition that is free of obstruction or vegetation. Crusher fines, sod, or other similar material is permitted in the 2' clear zone.
- A 3' - 5' wide stabilized soft surface may be provided on one side of the trail per the typical trail sections of Figure 24.
- Concrete joints should be saw-cut to provide a comfortable experience for wheeled users.
- Where trails run through an underpass, maintain the trail surface material within the underpass.
- Trail materials selection is at the discretion of CCOB, and dependent on use and context.

Trail Lighting

Trail lighting should enhance the trail user experience and provide safety and security for folks using the trail system. Lighting should be assessed for each individual trail segment, as conditions for each trail will have unique and specific needs. Trails located in Open Space typically do not have lighting to avoid impacts on wildlife and adjacent properties. Trails that pass through a Park often have some lighting as this is a more developed and active area. In all cases, lighting should have a full cut-off so the light is focused downward to avoid glare and other types of light pollution.

Lights on a trail may be considered for installation at the following locations according to the American Association of State Highway and Transportation Officials (AASHTO) guidelines:

- In a tunnel or at overpasses
- Trailheads
- Bridge entrances and exits
- Public gathering places
- Along streets
- Crosswalks
- Where the path crosses another path or sidewalk
- On signage

Design Standards

Cross slope

A minimum of 2% cross slope is recommended for drainage, as well as for accessibility. This also helps prevent standing water and slick patches during cold months. The American Association of State Highway and Transportation Officials (AASHTO) Guide for the Development of Bicycle Facilities require the cross slope for a shared path to be 2% or less. To allow for construction tolerance, a 1.5% design cross slope should be targeted.

Minimum Radii for Horizontal Curves

At trail curves in order to accommodate the turning radius of bicycles, the following minimum turning radius should be designed for various expected bicycle travel speeds in Figure 27.

More detailed information and supporting documentation may be found in Appendix D.

Trail Intersection Radii

Trail intersections where the slowing of bicycle turning speeds is desired to ensure safety and reduce conflict with other trail users, a turning radius of between 5' to 10' is recommended. An example of this condition is the intersection of a Neighborhood Trail connection to a Community Trail.

Trail segments where maintenance vehicle access is required should be designed to have a minimum curve or intersection corner radius sufficient to ensure the maintenance vehicle is able to navigate the trail and prevent vehicles from damaging the soft surface material and vegetation along the sides of the trail. The precise necessary corner radius shall be determined at the time of horizontal design and is dependent on the maintenance vehicle type and dimensions which will require access.

Clear sight distances

Ensure adequate stopping distances and clear sight distances at intersections, underpasses, sharp turns, and other areas of conflict. Use signage and striping to direct trail users at these points and provide adequate warning. At an intersection of a shared use path with a walkway, a clear sight triangle extending at least 15' along the walkway should be provided.

Center Striping

Under most conditions, centerline markings are not necessary and reduce the level of service. Centerline markings should only be used if necessary for clarifying user positioning or preferred operating procedure: Solid line = No Passing; Dashed line = Lane placement.

Trails with a high volume of bidirectional traffic should include a centerline. This can help communicate that users should expect traffic in both directions and encourage users to travel on the right and pass on the left.

Where there is a sharp blind curve, painting a solid yellow line with directional arrows reduces the risk of head-on collisions.



2023 Broomfield Trail Adventure

U.S. Customary	
Design Speed (mph)	Minimum Radius (ft)
12	27
14	36
16	47
18	60
20	74
25	115

Figure 27: Bicycle Minimum Radii for Horizontal Curves Chart

Accessibility

Definitions

- Trail: A pedestrian and/or bicycle route developed primarily for outdoor recreational purposes.
- Sidewalk: That portion of a street between the curb line, or the lateral line of a roadway, and the adjacent property line or on easements of private property that is paved or improved and intended for use by pedestrians and cyclists.
- Multi-Use Path: (also sometimes referred to as a Shared Use Path). A path designed for both transportation and recreation purposes. Multi-use paths typically are separated from motorized vehicular traffic by a landscape buffer or barrier, either within a highway right-of-way or within an independent right-of-way.

AASHTO Guidance

Due to the fact that multi-use paths are used by pedestrians, they fall under the accessibility requirements of the Americans with Disabilities Act (ADA). These guidelines also apply to street crossings for all types of shared use paths. The technical provisions herein either meet or exceed those recommended in current accessibility guidelines. Paths in a public right-of-way that function as sidewalks should be designed in accordance with the City and County of Broomfield standards, or subsequent guidance.

ADA Guidance

Figure 28 shows a comparison of Broomfield’s trail design standards with those of the ADA and AASHTO. This table demonstrates how Broomfield is either meeting or exceeding these other industry standards. In addition to the trail standards in Figure 28, the Broomfield trail running slope standard is noted below:

Trails should not exceed a % running slope of 5%. Tables or landings are strongly discouraged. The trail route and/or site grading should be adjusted to accommodate a trail running slope that does not exceed 5%.

Trails should comply with ADA. Exceptions may be allowed on a case-by-case basis in the following cases:

- Compliance is not practicable due to terrain
- Compliance cannot be accomplished with the prevailing construction practices
- Compliance would fundamentally alter the function or purpose of the facility or the setting for the trail
- Compliance is precluded by the: Endangered Species Act; National Environmental Policy Act; National Historic Preservation Act; Wilderness Act; or Other Federal, State, or local laws

	AASHTO	ADA	Proposed Broomfield Trail Design Standards
Minimum Multi-Use Path Width	8' Minimum 11-14' Optimum	4' Minimum (one way) 5' Minimum (two way)	10' Minimum 11'-14' foot Optimum depending on trail type and user volumes
Maximum Cross Slope	1% Recommended 2% Maximum	1% Recommended 2% Maximum	1% Recommended 2% Maximum
Clear Zone	2' Minimum		2' Minimum
Minimum Vertical Clearance	8' Minimum 10' Optimum		10' Minimum

Figure 28: Broomfield Standards Comparison Table



2023 Bike to Work Day at East Park

Grade Separated Crossings

- At overpasses and underpasses, provide an additional 2-foot clear width on both sides of the trail to create space between railings, walls, and other obstructions and trail users.
- Avoid sharp turns at the entrance and exits to bridges and underpasses to prevent user conflict and maintain sight distances.
- If sharp turns that reduce sight distances are unavoidable, install center striping to indicate direction of travel and provide signage encouraging trail users to remain on the appropriate side of the trail. This will assist in reducing user conflict from users traveling in opposite directions.

Overpasses

Ensure smooth transitions between overpasses and trails surfaces by matching the trail to the height of the overpass or bridge deck surface.

- Minimum Width: 10'-14' minimum
- Minimum vertical clearance over a roadway: 17'-6"
- Minimum vertical clearance over a multi-use or pedestrian trail: 10'
- Barriers or railings on both sides must be provided
- The facility must be located where it is needed and will actually be used
- The facility must be lit to provide an increased level of security to the user

More information can be found in Chapter 14 of the Colorado Department of Transportation Roadway Design Guide.

Underpasses

Where trails run through underpasses, the trail shall have a concrete surface to facilitate maintenance. Where flooding or drainage is a concern, other material options may be utilized as deemed appropriate by CCOB.

- Minimum vertical height (for entire width of trail):
 - Underpass used by pedestrians and cyclists—13'-6" recommended, 10' minimum
 - Underpass also used by equestrians— 13'-6" recommended, 10' minimum.
 - Underpass also used by emergency vehicles—14'. This dimension is required for structures where vehicle access cannot be provided to both sides of the structure from a cross street, trail or other access facility due to physical or topographical constraints.

All underpasses will be lit and the specific lighting design for the proposed structure will be evaluated during the design process to consider public safety and maintenance. Overpasses may also require lighting that will be determined during the design process.

Overpasses and underpasses should be designed to accommodate the height and turning radii of Broomfield's maintenance vehicles, dependent on the precise vehicle type and its dimensions and when feasible. Exact dimensions to be determined at the time of construction, dependent on the vehicle that will require access to said location.

In addition, the access needs of maintenance vehicles of the Farmer's Reservoir Irrigation Company (FRICO) should be taken into consideration during the planning and design of new trails that overlap with FRICO's management area when feasible.

More detailed information and supporting documentation may be found in Appendix D.



Shep's Crossing in Broomfield

Maintenance Recommendations

Concrete Repair

Common maintenance and rehabilitation techniques for concrete trails include crack filling, full-depth panel repair, grinding with a rotomill or other small equipment, and partial-depth repair. Figure 29 lists common concrete distress types along with recommended repair methods.

Sweeping

Concrete trails are swept as needed or upon request. Signage can be posted at trailheads to encourage

users to report areas of the pathway in need of sweeping. Roadway intersections may require more frequent sweeping.

Drainage

To preempt drainage problems along the pathway, ditches and drainage structures should be regularly cleared of debris to prevent wash-outs and maintain positive drainage flow. Regular checks for erosion along the pathway should be made during the wet season, and immediately after any storm that brings flooding to the area. Providing adequate drainage on the pathway will also minimize ice on the pathway due to seasonal freeze/thaw cycles.

Distress	Example	Cause	Repair
Random cracking		Poor subgrade support, subgrade freeze/thaw, or differential subgrade movement	If crack is not working (no vertical movement or horizontal separation), routing and sealing is recommended If crack is working, remove and replace panel
Transverse joint faulting		Subgrade freeze/thaw or differential subgrade movement	If less than 1/4 in., do nothing If from 1/4 to 1/2 in., grind with rotomill or other small equipment If more than 1/2 in., perform a full-depth repair or slab jacking (raising the settled panel) with pressure grout
Longitudinal crack		Excessive panel width, poor subgrade support, or differential subgrade movement	If tight (less than 1/4 in.), do nothing If moderate (1/4 to 1/2 in.), fill with sealant If open (more than 1/2 in.), replace panel
Divided slabs	 Panel is divided into three or more pieces	Poor subgrade support or deficient pavement thickness	Replace panel

Figure 29: Concrete Trail Repair Table

Vegetation

In general, plantings alongside a pathway should allow users clear views of their surroundings to avoid personal security issues. Under story vegetation along pathway corridors should not be allowed to grow higher than three feet, and overhanging branches should be pruned to a minimum vertical clearance of 10'. The requirements of the CCOB Encroachment Ordinance should be adhered to.

Amenities

Trails amenities add value to the system and enhance user experience and should be included in the trail design and planning process. Amenities include benches at key viewing sites, interpretive historical an environmental signage, lighting, bike racks and repair stations, picnic areas, trash receptacles, and pet waste stations. The installation of amenities should be done with an eye toward maintaining the harmony of the environment while providing the necessary services and visitor convenience intended by the amenity.

Signage

Wayfinding signage should be regularly checked for graffiti or damage, weathering or wear to the sign face or post. Damaged signs should be repaired or replaced on an as-needed basis. On an annual basis, trail signs should be evaluated for sun and water damage and replaced as needed. It is estimated that signs would have a practical lifespan of 15 years.

Winter maintenance

Snow should be cleared from the concrete trails within 24 hours of the end of a snow event during the winter season to help improve winter pedestrian and bicycle safety. The pathway and its access points should be designed to allow clear maintenance vehicle access without utilities, signal pole, or light pole location interference. Note that curb ramps and roadway crossings will likely need additional manual clearing of snow.

Effort should be made to maintain an ice-free pathway to prevent slipping injuries. This will likely require ongoing inspection between snow events to reduce ice buildup and drifting snow is removed

promptly. Salt, sand, or de-icing solution should only be used if special circumstances warrant; such as severe ice buildup, to mitigate freeze-thaw cycles on the pathway surface, or for immediate safety concerns. Salt or de-icing solutions create runoff that can damage vegetation, structures, vehicles and bicycles. Sand can damage bicycle parts and should be used in limited amounts for traction concerns. Gravel application should be avoided as the smaller tire width of bicycles does not adequately grip to larger aggregate and may cause cyclists to lose control and fall. Snow storage should be anticipated in the design of drainage and planting areas to reduce damage, replacement, and maintenance needs.

Structure Maintenance

Structures such as trail bridges, culverts, and retaining walls should be inspected yearly for failure or risk of failure and coordinated with the Parks, Recreation, and Senior Services Department. If any structures pose a safety risk to trail users, the trail should be closed and repaired as soon as possible. If closure is anticipated for more than a couple of days, an alternate route should be provided as a bypass. Trail bridges should be checked to make sure abutments and support members are structurally sound. Culverts should be checked for blockages. Retaining walls should be checked for proper batter and loose stones.

More detailed information and supporting documentation may be found in Appendix D.

Trail Wayfinding and Signage

Trail wayfinding and signage shall meet the requirements of the Broomfield Wayfinding System Report. International symbols and systems will be utilized to minimize the need to put signage in numerous languages. Refer to the Broomfield Wayfinding System Report for more information.

Off-Road Signs

These sign types are intended to be used along separated bicycle pathways and multi-use trails, where signs will typically be adjacent to native landscaping. The signs should be placed with accessibility standards in mind.



Residents at Broomfield Trail Adventure



Figure 30: Off-Road Sign Design Examples per the Broomfield Wayfinding System Report

Trail Design Speeds

The American Association of State Highway and Transportation Officials' (AASHTO) Guide for the Development of Bicycle Facilities outlines that shared-use paths should be designed for a speed that is "at least as high as the preferred speed of the fastest common user."

On unpaved paths, where bicyclists tend to ride more slowly, a lower design speed of 25 km/h (15 mph) can be used. Similarly, in cases where a trail is primarily used as a commuter route for cyclists such as the US 36 Bikeway, a design speed of 40km/h (25 mph) may be considered.

Other Power-Driven Mobility Devices (OPDMD)

Broomfield's current regulations for Other Power-Driven Mobility Devices (OPDMD) would continue to apply for those with mobility-related disabilities. This information can be found in the Broomfield OPDMD Regulations on Broomfield's Website.

E-Bikes

Standard practice nationally, and in Broomfield and in some of the jurisdictions surrounding Broomfield, is to allow class 1 and 2 e-bikes on some or all trails, while banning the use of class 3 e-bikes. Class 3 e-bikes exceed a maximum speed of 20 mph and are considered dangerous for trail use.

Please visit Broomfield's Website for more information regarding E-Bike standards.

Powered Micromobility Device (PMD)

Powered Micromobility Device: A small, low-speed device powered by an electric motor that is designed to carry a single person. Examples include electric scooters, one-wheels, and electric skateboards.

Powered Micromobility Devices (PMDs) should be permitted along the same trails that class 1 + 2 e-bikes are permitted within Broomfield. Due to the devices having similar dimensions and speeds as traditional bicycles and e-bikes, their impact on the trails is deemed to be equivalent.

As new PMDs are constantly being released, CCOB should regulate PMDs by their characteristics, and not by listing each device by name or type.

The following device regulations must be met in order to for the device to be considered a "qualifying device" for use on trails.

- The device must have a top speed of 20 mph.
- The device must be no wider than 32 inches. (32 inches selected as it is 1/3 of the width of an 8 ft wide trail, which allows space for passing of other trail users.)
- The device must weigh no more than 100 lbs.
- The device must be able to turn around on trails and be able to navigate small obstacles and variable terrain.
- The device must be powered by an electric battery and may not contain an internal combustion engine.

Future Policies

A policy is more effective and remains up-to-date as new technologies emerge if it is written to regulate the concern rather than specific transportation devices. Policy makers should begin the process of drafting policy by thinking about the goals of the trail, either specifically or categorically, and how policies should address safety and user experience concerns such as speed, access, parking and noise or air pollution.

More detailed information and supporting documentation may be found in Appendix D.

Safety Enforcement on Trails

Speed Limits and Enforcement

Despite the use of speed limits by some neighboring jurisdictions, it is recommended that one not be implemented in the City and County of Broomfield at this time. Without enforcement capabilities, the adherence to a defined speed limit may be limited. Through adhering to these trail design standards and recommended trail widths, user conflict should be minimized and the need for speed limits made unnecessary.

Out of eleven surrounding jurisdictions, four have speed limits for trails with posted signs. Six have enforcement via rangers, staff, or another authoritative figure for speed limit and bicycle passing etiquette enforcement. More detailed information and supporting documentation may be found in Appendix D.

In certain contexts and conditions where there is sufficient width and a lack of user conflict, the use of a speed limit may be overly limiting to bicyclists and Powered Mobility Device (PMD) users. Instead, targeted etiquette signage, voluntary trail ambassadors, and educational campaigns are recommended to remind trail users of areas of potential user conflict and to encourage safe trail behavior. It should be noted, that best practices target safe trail use behavior towards both pedestrians and bicyclists.

Trail Ambassador Program

An effective option to encourage safe trail behavior could be a voluntary trail ambassador program in place of enforcement and ticketing. This approach would be similar to the Broomfield Coyote Crew where volunteers are trained and conduct outreach to fellow residents, particularly in problem areas.

User Education/Campaigns

Educational materials and campaigns are necessary to encourage safe trail behavior, and instill user understanding of trail system rules. Material on courteous path behaviors can be posted at trailheads, included on maps, brochures, QR codes, and websites, part of Safe Routes to School and bicycle education programs, and shared by trail volunteers or ambassadors.

It is recommended that the City and County of Broomfield:

- Develop a "Share the Trail" Campaign.
- Target safe trail use behavior towards all trail users.
- Provide clear guidance on any new Powered Micromobility Device (PMD) regulations and existing Other Power-driven Mobility Device (OPDMD) policies at primary trailheads and through informational and trail ambassador campaigns.
- Develop a "Share the Trail" Campaign.



Broomfield Trail Adventure 2023

Trailhead Design Standards

Trailheads should maintain consistency with enough variety to be unique to each specific location, while enhancing the community identity of Broomfield. Three different trailhead types may be utilized at existing or future trailhead locations: Primary Trailheads, Secondary Trailheads, and Tertiary Trailheads.

The selection of trailhead locations should ensure no over burdensome negative impacts on immediately adjacent residential neighborhoods.

PRIMARY TRAILHEAD

PURPOSE

Serve as the main gateways to the trail system of Broomfield.

LOCATION

Located adjacent to roadways or streets that provide primary access the major trails, major mobility hubs, RTD bus stations, or other regional multi-modal transportation system, or major Open Lands destinations of Broomfield. Trailheads should be highly visible from the adjacent roadways or streets.

PARKING

Parking shall be provided in a designated off street parking area or lot specifically intended for the use of the trail. Parking along adjacent roadways or shoulders does not count as trailhead parking. Parking may be paved or unpaved. Bicycle parking shall be provided. Shared parking opportunity options may be explored if applicable. Surfaces should not be impermeable, where possible, to reduce erosion and enhance the natural surroundings.

SIGNAGE AND NOMENCLATURE

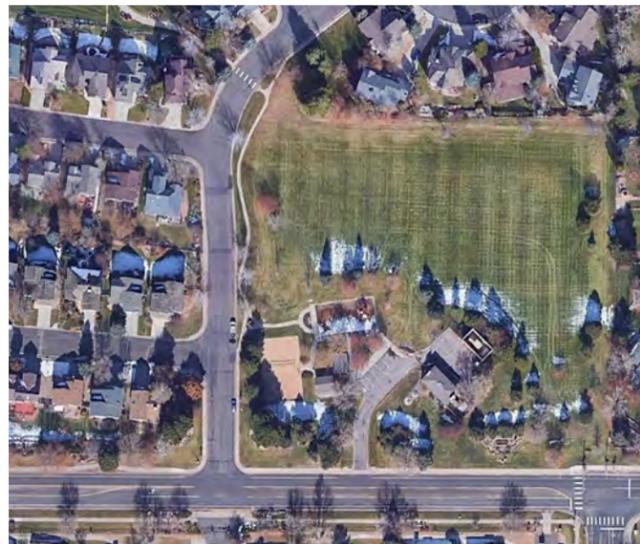
Trailheads shall be named or otherwise clearly and uniquely identified with signage per the Broomfield Wayfinding Systems Report.

SITE FURNISHINGS AND FEATURES

Portable or permanent restroom facilities may be provided. Site elements such as seating, pet waste stations, landscaping, electric vehicle charging stations, or others may be provided.



Primary Trailhead Example - Tom Frost Reservoir at Broomfield County Commons Open Space



Secondary Trailhead Example at Outlook Park

SECONDARY TRAILHEAD

PURPOSE

Serve as auxiliary entry points to the trail system of Broomfield.

LOCATION

Located within the context of a neighborhood or park, to provide access to the trail system of Broomfield. Trailheads should be highly visible from adjacent roadways or streets and fit within the context of the surrounding development.

PARKING

Parking requirements shall be determined at time of development by Broomfield Staff. If deemed appropriate, parking may be provided in a designated off street parking area or on street along the adjacent roadways or shoulders. Parking may be paved or unpaved. Bicycle parking shall be provided. Shared parking opportunity options may be explored if applicable. Surfaces should not be impermeable, where possible, to reduce erosion and enhance the natural surroundings.

SIGNAGE AND NOMENCLATURE

Trailheads shall be named or otherwise clearly and uniquely identified with signage per the Broomfield Wayfinding Systems Report.

SITE FURNISHINGS AND FEATURES

Site elements such as seating, pet waste stations, landscaping, or others may be provided.

TERTIARY TRAILHEAD

PURPOSE

Serve as entry points at key pedestrian opportunities along the trail system of Broomfield.

LOCATION

Located at junctions where a road or street bisects a trail within the context of a neighborhood. Trailheads should be highly visible from adjacent roadways or streets and fit within the context of the surrounding development.

PARKING

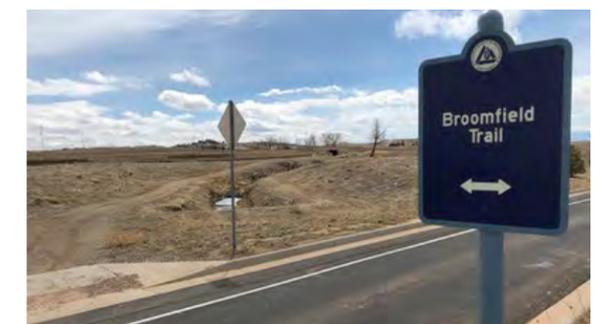
Parking, including bicycle parking, is not required.

SIGNAGE AND NOMENCLATURE

Wayfinding or directional signage shall be provided per the Broomfield Wayfinding Systems Report.

SITE FURNISHINGS AND FEATURES

Site elements such as seating, pet waste stations, landscaping, or others may be provided.



Tertiary Trailhead Example - Broomfield Trail

Figure 31: Trailhead Design Standards

5.5 MANAGEMENT AND MAINTENANCE ADDITIONAL STANDARDS

The following standards shall be met in addition to the municipal code requirements:

Riparian Corridor Protection

These standards were provided by ERO Resources and are also general industry standards that DTJ recommends.

- Establish a minimum 100-foot setback requirement from the edge of perennial and seasonal stream banks to the lot line that does not have mature trees. When the stream bank is not determinable, measure 100-meter from the centerline according to the Broomfield drainageway plan.
- Establish a minimum 100-foot setback from the edge of perennial and seasonal stream banks to the lot line for riparian corridors with mature trees to minimize disturbance to wildlife habitat. The setback should preserve the outermost edge of the land beneath the tree canopy and allow for a buffer area between the developed area of the site and the vegetation located along the stream. In areas where significant habitat exists along the stream bank, a setback greater than 100 feet may be necessary to preserve habitat and wildlife corridors. A site-specific assessment will assist staff in determining the appropriate setback.
- Establish a minimum 50-foot setback from the edge of the wetlands.
- Establish a minimum 100-foot-wide setback for wetlands along a drainageway around a marsh or pond to minimize disturbance to wildlife (see Section 2.3 Significant Natural Features for a description of Water Resource values).
- If no feasible alternatives exist for complying with the setback and it creates a physical hardship, a variance may be requested or a portion of the stream channel may be altered, relocated, or piped if restoration is provided. Restoration of wetlands should occur at a 2 to 1 ratio. On-site restoration is preferred or as a secondary option, wetland mitigation banks. It is preferable to restore wetland habitat within Broomfield rather than a distant wetland bank so that the local ecosystem benefits. In some instances, it may be appropriate to create a wetland that differs in plant species from the impacted wetland to encourage plant community diversity.

Tree Preservation Standards

Protection

- Protect large mature trees or “specimen trees” from removal (e.g., trees greater than six-inch caliper at diameter breast height (DBH)) unless they are considered a hazard.
- Protect ecologically important species from removal (e.g., cottonwoods).
- Protect wooded areas that are high functioning and contain the ecological characteristics that support regeneration of woodlands.
- Eradicate invasive species (e.g., Russian Olive trees, Tamerisk).

Evaluation

- Evaluation of tree value lost during removal should be determined by a qualified landscape appraiser using the most recent published methods established by the Council of Tree and Landscape Appraisers.

Replacement

- See the City and County of Broomfield Tree Replacement Requirements.

Native Vegetation Restoration

Broomfield will develop several approved seed and plant palettes for moist or dry sites that encourage pollinators and low water usage. A developer may propose another plant palette, but it would need to be approved by Broomfield Open Space and Parks Maintenance staff. Temporary irrigation may be necessary for some restoration plans. Broomfield will consult with other entities that do this type of restoration work as needed.

Proposed development shall adhere to the requirements found in the following:

20-Day Environmental Clearance Letter

The 20-Day Environmental Clearance Letter's purpose is to identify any natural resource issues that may exist on the site immediately before the construction on the project starts. This step double-checks environmental assessment and/or other resource information provided during the design review process for the project. The 20-Day Letter ensures that no new resource issues have arisen so that conflicts can be avoided. For example, if a nest site or new prairie dog colony is identified in the letter, the wildlife concern can be addressed before construction impacts the resource.

The City and County of Broomfield Guidelines For Environmental Assessments and Open Lands/ Trails Analysis

The Environmental Assessment is a report that is typically completed at the start of the design process for a project so that natural resource factors can be addressed early on in the project's design. Open Lands and trail opportunities are also addressed in the Assessment.

Both of these reports are required to be completed by a professional biologist.

Wildlife Protection

The 20-Day Letter and Environmental Assessment and Open Lands Analysis should be codified.

Additional Open Space Management and Maintenance Recommendation can be found in Appendix I.



Markel Pond in the Fall

5.6 ACTION ITEMS

A series of Action Items have been prepared as a part of the OSPRT Planning process. These Action Items provide clear steps forward with objectives, details, responsible departments, a status, and timeline to help achieve the goals of the OSPRT Plan. CCOB will continue to work with the development community to implement many of these where applicable through the development review / construction process.

Many of these Action Item steps will also require collaboration with other departments such as Community Development, Finance, and Public Works.

The Action Items have been organized into six categories:

1. Land Acquisition and Dedication
2. Parks and Recreation Facilities
3. Open Space
4. Trails
5. Municipal Code Revisions and Policies
6. Management and Maintenance

The full list of Action Items can be found on the subsequent pages in Figure 32.

1.0: LAND ACQUISITION AND DEDICATION

No.	Action Item	Objective	Details	Responsible Departments	Status	Timeline
1.1: Implementation						
1.1.1	Land Acquisition	Acquire properties per the Land Acquisition Priority List of the OSPRT Plan.	Open Space and Park Land should be acquired to achieve the 40% Open Lands objective, the 10-minute (1/2 mile) walkability standard, protect natural resources, and other objectives per the OSPRT Plan.	Open Space and Trails Department, Parks, Recreation, and Senior Services Department	Prioritization List is provided in OSPRT Plan.	Ongoing
1.2: Programs and Guidelines						
1.2.1	Public Land Dedication Ordinance (PLD Ordinance) Codification	Develop language for a PLD Ordinance to be codified.	The PLD shall include language regarding Open Lands level of service standards, cash in lieu, income aligned housing development, detention area requirements, and land quality.	Community Development Department, Open Space and Trails Department, Parks, Recreation, and Senior Services Department, Economic Vitality Department	Goals, objectives, and implementation strategies have been identified by Broomfield Staff.	1 Year
1.2.3	Annual Land Acquisition Reporting System	Continue the annual reporting system to track Land Acquisition progress to OSTAC, PRSSAC, and Council as necessary.	This annual report should provide a descriptive summary of progress toward goals and objectives of the OSPRT Plan and funds expended.	Open Space and Trails Department, Parks, Recreation, and Senior Services Department, Finance Department	Annual Reporting System TBD.	Ongoing

Figure 32: Action Items

2.0: PARK AND RECREATION FACILITIES

No.	Action Item	Objective	Details	Responsible Departments	Status	Timeline
2.1: Implementation						
2.1.1	Recreation Center	Design and develop a new Recreation Center facility per the OSPRT Overall Plan.	Design and develop a facility and program for a new Recreation Center within the northeast region of the community.	Parks, Recreation, and Senior Services Department	Future Recreation Center or Field House has been proposed in the Northeast community of Broomfield and is shown on the OSPRT Overall Plan.	Beyond 10 years
2.1.2	Park Equity	Develop Parks in locations per the OSPRT Plan Summary Map. Prioritize parks that are located in communities that are in need of Parks, meet the ½ mile (10-minute walk) objective, or per direction of Broomfield Staff.	Conduct reports and audits in order to determine specific recreational facility and program needs for each individual Park site.	Parks, Recreation, and Senior Services Department	Future Park locations are shown on the OSPRT Plan Summary Map.	Ongoing
2.1.3	Permanent Plumbed Restrooms and Water Fountains	Install permanent plumbed restrooms and water fountain facilities.	Evaluate costs and existing facilities connection options per site. Location, design, and implementation shall be determined at specific parks locations per the direction of Broomfield Staff.	Parks, Recreation, and Senior Services Department	N/A	2 to 5 years
2.1.4	Playgrounds and Play Equipment	Provide different play areas that accommodate a variety of age groups in close proximity to each other.	Advance the development of playgrounds and play equipment based on community priorities. Continue to upgrade or replace existing playground or play equipment to provide for a variety of age groups. Ensure that future playground or play equipment is designed to accommodate varied age groups, is ADA accessible, and meets industry safety standards.	Parks, Recreation, and Senior Services Department	N/A	Ongoing
2.1.5	Other Park Facilities	Develop future parks facilities per the OSPRT Plan.	Ensure that development meets the requirements of the Capitol Improvement Program (CIP) Analysis and the goals and objectives per the OSPRT Plan.	Parks, Recreation, and Senior Services Department	Future Park Facilities are identified in the Action OSPRT Plan.	Ongoing
2.1.6	Park Signage	Install Park Signage for Broomfield Parks.	Install or add signage for Parks where none currently exist.	Parks, Recreation, and Senior Services Department	Refer to Broomfield's wayfinding signage program for more information.	Ongoing
2.2: Programs and Guidelines						
2.2.1	Admission Rate Reduction Program	Evaluate and adjust, as necessary, Broomfield's existing recreation program participation in the reduced rate program.	Explore low-income or qualifications for Recreation Center admission fees.	Parks, Recreation, and Senior Services Department	Reduced Rate program currently exists and should be evaluated.	Annual
2.2.2	English and Spanish Language Resources	Analyze the need for digital and printed resources and information in both English and other selected languages and determine best practices for implementation.	Provide information regarding facility hours, rules, regulations, reservations, and other OSPRT related items. Improve on special programs or event advertisements and communication.	Parks, Recreation, and Senior Services Department, Communications Department, Open Space and Trails Department	Details of specific resources need to be further identified.	2 to 5 years
2.3: Future Studies						
2.3.1	Athletic Field Use and Demand Analysis	Update the 2014 Athletic Field Use and Demand Analysis Study to determine future Athletic Field needs.	Advance the development of fields based on community priorities. Ensure that development meets the requirements of the Capitol Improvement Program (CIP) Analysis and the goals and objectives per the OSPRT Plan.	Parks, Recreation, and Senior Services Department	Refer to the 2014 Athletic Field Use and Demand Analysis and Future Park Facilities per the OSPRT Plan.	2 to 5 years
2.3.2	Night Time Lighting Demand Analysis	Evaluate the needs and demands for night time field and facility use to determine priority areas in need of increased night time lighting.	Evaluate needs for outdoor facilities, athletic fields, or other items based on community priorities.	Parks, Recreation, and Senior Services Department	N/A	Ongoing
2.3.3	Accessible, Adaptable, and Universal Recreation Needs	Conduct a comprehensive audit of ADA Compliance for Parks and recreation facilities.	Evaluate additional accessible, adaptable, and universal recreation opportunities. Explore options to further incorporate more accessible, adaptable, and universal recreational opportunities and facilities including play areas, trails, and athletic fields.	Parks, Recreation, and Senior Services Department	N/A	Ongoing
2.3.4	Public Transportation Analysis	Conduct a Public Transportation Analysis to determine opportunities to provide more effective public transportation options to Parks facilities.	Work with RTD, Broomfield Staff, and other agencies to determine best methods for analysis.	Parks, Recreation, and Senior Services Department, Community Development Department	Refer to the Planning Division and Transportation Division for more information.	Ongoing

3.0: OPEN SPACE

No.	Action Item	Objective	Details	Responsible Departments	Status	Timeline
3.1: Implementation						
3.1.1	Candidate Areas for Restoration	Enhance or restore areas of ecological value as identified in the OSPRT Plan.	Explore options for restoration or enhancement of selected areas per the OSPRT Plan.	Open Space and Trails Department, Parks, Recreation, and Senior Services Department	Refer to the Ecological Assessment information of the OSPRT Plan.	Ongoing
3.1.2	Pollinator Community Connections Map	Identify and document significant pollinator habitat throughout Broomfield	Document existing habitat areas and identify potential connections to ultimately have a series of connected Pollinator Pathways traversing the community.	Open Space and Trails Department, Parks, Recreation, and Senior Services Department	Work with Open Space/Trail Department and Parks Division staff to develop a method to document habitats.	Ongoing
3.2: Programs and Guidelines						
3.2.1	Volunteer Groups	Continue to increase awareness for volunteer opportunities related to OSPRT.	Continue to work with existing environmental education groups and resources to develop material and programs that promote education and stewardship of open land.	Open Space and Trails Department, Parks, Recreation, and Senior Services Department	Refer to current Volunteer Groups per the OSPRT Action Plan.	Ongoing
3.2.2	Education	Continue to increase education regarding trail, Open Space, and Park etiquette.	Continue public outreach through educational programs regarding trail, Open Space, and Parks etiquette. For example: pet waste management.	Open Space and Trails Department, Parks, Recreation, and Senior Services Department	Refer to current education opportunities of the Open Space and Trails Department.	Ongoing
3.2.3	Relationship with the Arapaho, Cheyenne and Ute Tribes	Continue to build a relationship with the Arapaho, Cheyenne and Ute Tribes.	Continue to build a relationship through specific projects and programs that are mutually agreed to with the CCOB staff and tribal leaders.	Development, Diversity, Equity and Inclusion; Library/Cultural Affairs and Open Space and Trails Department	In Progress.	Ongoing
3.3: Future Studies						
3.3.1	Baseline Management Plans or Open Space Plans	Prepare Plans for significant Open Space properties identified in the OSPRT Plan.	Prepare plans for larger properties that currently do not have a Baseline Management Plan.	Open Space and Trails Department	Refer to properties listed in the OSPRT Plan that are in need of Baseline Management Plans.	Ongoing

4.0: TRAILS

No.	Action Item	Objective	Details	Responsible Departments	Status	Timeline
4.1: Implementation						
4.1.1	Missing Trail Links	Develop trail segments per the Missing Links Analysis and Trail Design Standards of the OSPRT Plan.	Work with trail prioritization criteria standards and incorporate other elements deemed appropriate by Broomfield Staff.	Open Space and Trails Department	Refer to the Trail Prioritization Criteria and Missing Links Map of the OSPRT Plan.	Ongoing
4.2: Programs and Guidelines						
4.2.1	Wayfinding Signage Program	Implement Broomfield's Wayfinding Signage Program. Signage and mapping should identify major trails and may be located at trailheads, trail intersections, major Open Lands Destinations, and other significant elements.	Implement the Broomfield Wayfinding Signage Program as it relates to OSPRT to reinforce Broomfield's sense of place and identity. Signage should identify major trails, include maps, and be installed at strategic locations.	Open Space and Trails Department, Parks, Recreation, and Senior Services Department, Community Development	Refer to Broomfield's wayfinding signage program for more information.	Ongoing
4.2.2	Bike Ambassador Program	Create a new Bike Ambassador Program for Broomfield community members to participate in.	Program will encourage trail safety etiquette and promote the public use of trails.	Open Space and Trails Department	Implementation is planned for 2024.	2024

5.0: MUNICIPAL CODE REVISIONS AND POLICIES

No.	Action Item	Objective	Details	Responsible Departments	Status	Timeline
5.1: Implementation						
5.1.1	Planned Unit Development (PUD) Review Standards - (Section 17-38-120)	Add content to ensure that future PUD Applications where applicable address the future needs for OSPRT facilities, adhere to Park design standards and trail design standards, address stormwater conveyance concerns, protect significant natural features, riparian corridors, ridgelines, existing trees, native vegetation, habitat areas, and wildlife.	Refer to Chapter 7 of the OSPRT Plan for more information.	Community Development Department, Open Space and Trails Department, Parks, Recreation, and Senior Services Department	Work with staff to develop final code content changes and implementation.	2 to 5 years
5.1.2	Site Plan Review Standards - (Section 17-38-220)	Add content to ensure that all future Site Plan Applications where applicable address the future needs for OSPRT facilities, adhere to Park design standards and trail design standards, address stormwater conveyance concerns, protect significant natural features, riparian corridors, ridgelines, existing trees, native vegetation, habitat areas, and wildlife.	Refer to Chapter 7 of the OSPRT Plan for more information.	Community Development Department, Open Space and Trails Department, Parks, Recreation, and Senior Services Department	Work with staff to develop final code content changes and implementation.	2 to 5 years

6.0: MANAGEMENT AND MAINTENANCE

No.	Action Item	Objective	Details	Responsible Departments	Status	Timeline
6.1: Implementation						
6.1.1	Pet Waste Stations and Trash	Provide additional pet waste stations within trails, Open Space, and Parks.	Include a maintenance program to address maintenance of pet waste stations and trash.	Open Space and Trails Department, Parks, Recreation, and Senior Services Department	Refer to current OSPRT waste management policies and procedures.	Annual
6.2: Programs and Guidelines						
6.2.1	Maintenance Standards Guidelines	Adhere to the maintenance standards of the OSPRT Plan.	Ensure that current management and maintenance practices are being met for OSPRT related items.	Open Space and Trails Department, Parks, Recreation, and Senior Services Department	Refer to the Management and Maintenance Standards of the OSPRT Plan.	Ongoing
6.3: Future Studies						
6.3.1	Wildfire Resiliency Guidelines	Explore best practices regarding wildfire resiliency for future management and maintenance of OPSRT.	Evaluate opportunities to incorporate management standards as they relate to Wildfire Management and resiliency.	Open Space and Trails Department, Parks, Recreation, and Senior Services Department	N/A	Annual
6.3.2	Year-Round Restrooms	Evaluate opportunities to provide year-round restrooms in Parks.	Evaluate opportunities to provide year-round restrooms in Parks.	Parks, Recreation, and Senior Services Department	Ongoing	Ongoing

5.7 OSPRT PLAN SUMMARY MAP

Based on the recommendations of the OSPRT Plan, an OSPRT Plan Summary Map has been developed. This map shows existing Open Space, Parks, and Other Open Lands; the completed trail system; key restoration/habitat enhancement sites; and opportunities for future Open Space and Parks acquisition by purchase or public land dedication. The purpose of this map is to highlight some of the key concepts from the OSPRT analysis but is not intended to be a complete and comprehensive summary of all OSPRT Plan recommendations. The OSPRT Plan Summary Map is a high altitude look at the findings identified during the planning process. The specific maps related to land acquisitions, trails, etc. should be reviewed in tandem with the OSPRT Plan Summary Map.

FUTURE PARKS AND OPEN SPACE AREAS

-  Future City/County Wide or Community Park Location
-  Future Neighborhood Park Location
-  Future Open Space Area

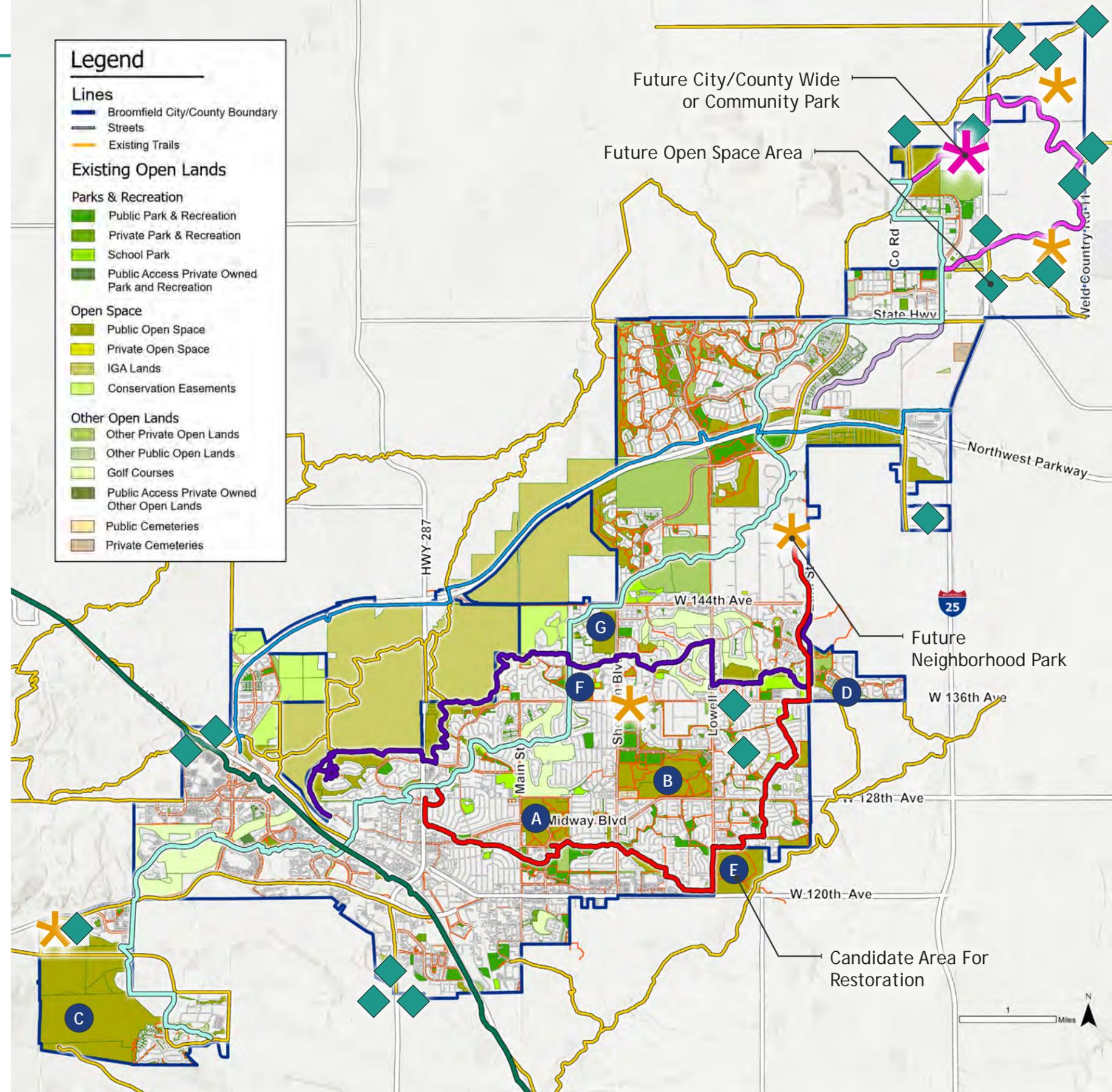
CANDIDATE AREAS FOR ECOLOGICAL RESTORATION/HABITAT ENHANCEMENT

-  The Field Open Space
-  Broomfield County Commons
-  Great Western Reservoir
-  Quail Creek Drainage
-  Metzger Farm
-  Markel Open Space
-  Wottge Open Space

FUTURE COMPLETED TRAIL NETWORK

-  US 36 BIKEWAY (COMPLETED)
-  REGIONAL TRAILS
-  BROOMFIELD TRAIL
-  NORTH BROOMFIELD LOOP TRAIL
-  LAKE LINK TRAIL (COMPLETED)
-  NORTHWEST PARKWAY TRAIL
-  SOUTHEAST COMMUNITY LOOP TRAIL
-  BASELINE NEIGHBORHOOD TRAIL
-  ALL OTHER EXISTING TRAILS

Note that the future Open Space, Parks, trails, and candidate areas for restoration locations are conceptual in nature only. They are meant to demonstrate the location intent.



Map 20: OSPRT Plan Summary Map



Chapter 6



IMPLEMENTATION STRATEGIES

This chapter discusses a range of implementation and finance strategies that may be used to enable Broomfield to meet the Open Lands acreage goal established in this Plan. While the OSPRT Plan is intended to provide guidance for a 20-year time frame, it is highly desirable that valued Open Space and Park properties and trail easements be preserved or acquired in a much shorter time frame, before they are threatened by development.

Various strategies may be utilized to achieve the goals and objectives of the OSPRT Plan. On-going public engagement, finance strategies, and funding sources are all explored in this Chapter.



6.1 CURRENT BUDGET AND FUNDING SOURCES

Open Space and Trails

Summary of Financial Position and Future Outlook

The mission of the Open Space and Trails Department is to acquire, steward, and enhance Open Space as well as to create a comprehensive trail system that allows for the enjoyment of the outdoors and promotes a healthy environment for people, nature, and community.

The Department's operating budget is composed of personnel costs, contractual service costs, and costs for supplies and equipment and equaled approximately \$700,000 for 2024. Personnel costs account for the majority of the Department's operational budget, followed by contractual services, and supplies and equipment.

The work of the Open Space and Trails Department includes:

- Land acquisition
- Open space management
- Wildlife preservation/coexistence
- Trail design/construction
- Habitat Restoration
- Development review of private and public sector projects/buildings
- Creation of policies and plans
- Implementation of the Open Space, Parks, Recreation and Trails Plan
- Diversity, Equity, Access and Inclusion outreach and projects
- Organization of educational and special events
- Coordination/oversight of volunteer programs
- Coordination/oversight of the Open Space and Trails Advisory Committee and the Broomfield-Westminster Foundation Board
- Oil and Gas environmental review

As of 2024, the Department had a staff of approximately 4.8 full-time equivalent (FTE) employees. The 4.8 FTEs include the Director, Open Space Manager, Open Space and Trails Coordinator, Open Space and Trails Technician and part-time Administrative Analyst.

The actual maintenance of Open Space and trails is managed by the Parks Maintenance Division within the Parks, Recreation and Senior Services Department.

Partnerships and volunteers help the Department leverage its budget to achieve a greater impact. The Department also works closely with the Open Space and Trails Advisory Committee (OSTAC) that is appointed by City Council and the seven-member Broomfield-Westminster Open Space Foundation that oversees Metzger Farm Open Space. This Foundation is made up of Broomfield and Westminster elected officials, representatives from the two City Manager's offices and one at-large member..

In addition, the Department coordinates volunteers for groups such as the Wildlife Masters, Nature Program, Coyote Crew and Eagle Watch. Currently, 31 volunteers serve the community. Staff also partner with the Broomfield Open Space Foundation, a separate non-profit from CCOB, on many projects, events, and programs.

Parks, Recreation, and Senior Services

Summary of Financial Position and Future Outlook

The Parks, Recreation, and Senior Services Department's mission is to enhance the quality of life and sense of community in Broomfield by providing diverse opportunities and services in the areas of Parks, Recreation, and senior services.

In 2024, the Department had a proposed operating budget of approximately \$22 million. The Department's operational budget supports its work managing the Paul Derda Recreation Center, the Broomfield Community Center, The Bay, 71 Parks, 137 miles of concrete trails, 28 miles of soft trails, and 4,400 native grass Open Space acres. The Department's budget also supports seniors over the age of 60 with transportation services, meals on wheels, respite care, support groups, and educational programming.

The budget's expenses are composed of personnel costs, contractual service costs, capital outlays, and costs for supplies and equipment.

These costs are spread between the Department's four divisions:

- Parks Maintenance
- Recreation
- Senior Services
- Cemetery

Personnel costs account for the majority of the Department's operational budget. As of 2023, the Department had approximately 93 full time staff, 15 part-time staff, and 106 temporary staff. Contractual services, supplies and equipment, and capital outlays account for the remaining expenditures.

To balance its annual budget and fund its operating expenditures, the Department relies on a combination of charges for service, which include memberships, day passes, and facility rentals; intergovernmental transfers, which include transfers from Easy Ride and Respite Care; contributions; fees for licenses and permits; and transfers from the CCOB General Fund. Together, these funding mechanisms allow the Department to provide a combination of community-oriented and individual-oriented services to CCOB residents.



Playground Fun

Overview of Capital Investment Funding

Summary of Financial Position and Future Outlook

Capital funding plays a crucial role in supporting and enhancing Open Space and trails and pursuing the community's objective of having 40% of its land area preserved as Open Lands. Capital funding is also important for ensuring the Recreation, Parks, and Senior Services Department can rehabilitate and replace capital assets in addition to constructing new amenities and facilities that serve the community.

For funding purposes, CCOB defines capital projects as projects with a useful life of two or more years and that cost equal to or greater than \$10,000. These projects are funded through capital budgets. Projects that do not meet these criteria are funded through operational budgets. Capital budgets are also used to purchase equipment when it has a cost of \$5,000 or more. Equipment costing less than \$5,000 is purchased through operating budgets.

The Open Space and Trails Department and the Parks, Recreation, and Senior Services Department use a variety of mechanisms to fund capital investment, including CCOB funds, the public land dedication cash-in-lieu that developers provide when the required actual dedicated Open Space or Park land is not provided, and grants.

Governmental Funds

The CCOB maintains several funds that are used to make capital investments in Open Space and trails, and Parks, Recreation, and senior services.

Open Space and Park Sales and Use Tax Fund

The Open Space and Park Sales and Use Tax Fund is a ¼ cent or .00025 sales and use tax, of which 80% percent is allocated to Open Space and trails and 20% is allocated for Park land and recreation facility projects. The Open Space and Trails Department typically receives all its capital funding from this fund, including all funding for expenditures such as Open Space acquisitions, trail development, trail underpasses, signage, wildlife related projects, land restoration, research, planning, and due diligence.

Conservation Trust Fund

The Conservation Trust Fund receives funding from the net proceeds of the Colorado Lottery that are shared with city and county governments. The Fund's revenues can be used to acquire, develop, and maintain new conservation sites, and pay for capital improvements and maintenance for recreational facilities with a public purpose.

Sales and Use Tax Capital Improvement Fund

One third of Broomfield's 3.5% sales tax is dedicated to the Sales and Use Tax Capital Improvement Fund for capital improvements and other capital costs, including studies, planning, consulting, engineering, legal, and financing services. This fund is the primary source of revenue for Park land acquisitions. The Asset Replacement and Refurbishment Fund is a sub-fund within the broader Sales and Use Capital Improvement Fund that pays for the replacement of existing capital equipment which includes the Open Space and Trails Department and the Parks, Recreation and Senior Services Department.

Services Expansion Fee Fund

The Services Expansion Fee Fund receives revenue from an excise tax of \$1.00 per square foot assessed on new residential construction. The fees generated by the Fund are used to pay for capital costs associated with new residential growth. 50% of the Fund's revenues are used for joint-use educational and municipal facilities, while the remaining 50% are used to fund capital improvements including Parks, arterial roadways, community facilities, and traffic signals.

Public Land Dedications and Cash-in-Lieu

New residential development in the city and county requires a dedication of public land and/or a payment of cash-in-lieu of dedication. The dedications include land for Parks, trails, recreational areas, and Open Space. The dedication ordinance also has a provision that allows developers to make a payment of cash-in-lieu of dedicating land under certain site-specific cases. The OSPRT Chapter on the Public Land Dedication provides more detailed information on the cash-in-lieu process and proposed changes.

Grants

Grants are also used to fund capital investments in Open Space and trails and Parks, Recreation, and senior services. The CCOB's budgeting process requires the city and county to set aside internal funds for projects funded by grants. At the completion of the project, the CCOB reimburses the internal funds that distributed revenues for the project.



Police Chief's Senior Walk November 2023

Prioritizing Capital Investment Projects

The prioritization process for capital investment projects occurs each year when the Open Space and Trails and the Parks, Recreation, and Senior Services departments analyze their need to invest in different types of capital projects and equipment. Staff from each department qualitatively review a list of projects and evaluate them against several criteria to come up with a prioritized project list. The Departments typically share the proposed projects with their respective advisory committees to get additional comments on priorities.

The selection of projects are also based on guidance from the City Council, City Manager's Office, the Comprehensive Plan, OSPRT Plan and other planning/policy documents, and available funding. This includes considering how the project will impact the community, how it fits within each department's mission, and how the project's costs compare against its expected benefit.

Projects meeting certain criteria are ranked higher than others, including projects that:

- Improve the health and welfare of Broomfield's residents
- Improve safety conditions for Broomfield's staff
- Protect asset value to prevent increased future costs
- Reduce opportunity costs by leveraging other funding, including grants and partnerships

Once a project is proposed by staff, it is analyzed further to consider other factors, including:

- If an asset is being replaced, are the expenditures necessary to continue providing the same level of service?
- Will the replacement reduce operating costs?
- What are future service demands expected to be and will this project help meet them?
- Is the project required to comply with safety or environmental mandates?

Staff also review the estimated cost of each project to ensure they are reasonable and comparable to similar projects. Once a project is approved by City Council during its budget review, it is added to the CCOB Capital Plan.

Key Future Capital Projects

Recognizing that funding for capital projects is constantly evolving, the Open Space and Trails Department and Parks, Recreation, and Senior Services Department each developed lists of key projects that will be proposed for funding in the coming years as shown in Figures 33 and 34.

The Open Space and Trails Department's key projects range from a \$5.2 million underpass for the Rock Creek Trail to \$125,000 for trail signage. Other projects include trail developments, pedestrian crossings, Open Space acquisitions, wildlife monitoring, and management plan development.

The Parks, Recreation, and Senior Services Department's key projects range from a \$2.5 million renovation of the Bay to a \$29,400 project to upgrade incandescent lights to LEDs. Other projects include irrigation replacements, renovations to the Paul Derda Recreation Center, replacement of assets including fitness equipment, senior services vehicles, and Park equipment, and future Park development.



Broomfield Open Space Foundation Volunteer Native Planting Project at Broomfield County Commons

6.2 PROPOSED PRIORITY PROJECTS

OPEN SPACE AND TRAILS

Open Space Land Acquisition

Update of the Public Land Dedication Ordinance

Harmer Open Space Management Plan

Kabert Open Lands Management Plan

Davis and Nordstrom Open Space Management Plan

Huron Open Space Management Plan

Metzger Farmhouse Design Analysis to Allow for Public Use

Open Space Native Grasslands Restoration at various Open Space sites such as Great Western Open Space, The Field Open Space, and Wottge Open Space

Habitat Enhancements to Plaster Reservoir Open Space

Ongoing Wildlife Research

Rock Creek to Brainard Drive Trail and Potential Underpass/Trailhead Parking (part of the Rock Creek Regional Trail)

Flatiron Crossing to Storage Tek Drive/96th Street Trail (part of the Rock Creek Regional Trail)

Wildgrass at Northwest Parkway Underpass Retro-fit and Trail Connection to Rock and Coal Creek Regional Trails

Extension of the Broomfield Trail from Lowell Blvd. to Spruce Meadows along Community Ditch

Implementation of the Raptor Management Plan

Implementation of the OSPRT Plan Action Items

Figure 33: Key Future Capitol Projects for the Open Space and Trails Department

PARKS, RECREATION, AND SENIOR SERVICES

Phase IV renovation of the Bay

Renovation of the Norm Smith Service Center

Anthem Community Park Build Out

Paul Derda Recreation Center Pool Boiler Repairs

Paul Derda Recreation Center Roof Replacement

Paul Derda Recreation Center Hardscape Replacement

Irrigation Replacement In Skystone

Annual Playground Replacement

Annual Tree Replacement Program

Interlocken Playground, Restroom, Shelter Replacement

Replacement of Senior Service Passenger Vehicles

Annual Fitness Equipment Replacement Program

LED Lighting Upgrades

Plan for the Eagle Point Property

Figure 34: Key Future Capitol Projects for the Parks, Recreation, and Senior Services Department

6.3 FUTURE BUDGET IMPLICATIONS

As the CCOB continues to grow and eventually reaches build out, it has opportunities to seek additional Open Space and Park land to meet its 40% Open Lands objective. CCOB will also have the opportunity to evaluate how best to thoughtfully and responsibly continue developing the trail system including signage, conducting wildlife management, investing in recreation and senior services infrastructure, expanding recreation services, and providing maintenance to meet the demands of a growing population.

This section estimates the capital and operating costs that are expected as the population of the City and County continues to grow.



Potential Land Acquisition Site near Preble Creek

Land Acquisition Costs

Broomfield estimates that 956 additional acres are needed to meet the 40% Open Lands objective. After accounting for approved and pending public land dedications, 759 acres remain to achieve the 40% Open Lands objective. This remaining 759 acres will be composed of a mix of publicly provided and privately provided Open Space, Other Open Lands, and Park and Recreation land. Acquisition costs and operational expenses will also vary depending on such attributes as the specific location, maintenance and public access agreements approved through the development review process, environmental considerations, topography, and use of the land proposed for acquisition.

While some of the 759 acres of land will be provided by developers through land dedications, for financial planning purposes, a conservative approach is to plan as if Broomfield will have to acquire the land needed to meet the 40% Open Lands objective. Acquisition costs for Open Space and Park land can vary significantly, but the Broomfield County Assessor has estimated that the average cost of vacant land in Broomfield is \$86,000 per acre, with a maximum value of \$177,175 per acre and minimum cost of \$32,300 per acre.

These values are used to calculate a range of acquisition costs to acquire the additional 759 acres of land needed to achieve the 40% Open Lands objective as shown in Figure 35.

As the table shows, one possibility is that all 759 acres can be acquired at an average cost of \$86,000 per acres, corresponding to the average cost of vacant land estimated by the County Assessor in 2023. Under this scenario, the total cost of future acquisitions would be approximately \$65 million.

In a middle-ground scenario, one third of the land could be acquired for the lowest vacant land value of \$32,300 per acre, one third could be acquired for the average value of \$86,000 per acre, and one third could be acquired for the maximum value of \$177,175 per acre, for a total acquisition cost of \$74 million.

Under a high-cost scenario, approximately half of the land would be acquired for at an average cost of \$86,000 per acre, while the other half would be acquired at the highest vacant land value of \$177,175 per acre, for a total cost of \$99 million. It is also important to note that land conservation is anticipated to occur over a 20-year time frame.

POTENTIAL LAND ACQUISITION COSTS OVER A 20-YEAR TIME FRAME			
Cost Scenario	Acres	Cost Per Acre	Total Acquisition Cost
Low	759	\$86,000	\$65 Million
Average	759	\$98,143	\$74 Million
High	759	\$131,300	\$100 Million

Figure 35: Potential Land Acquisition Costs

Open Space and Park Enhancement/Amenity Costs

Open Space Enhancement

Estimating the costs associated with Open Space enhancement can be challenging due to the substantial variations in natural resource value and anticipated public use for each specific property. Certain properties may primarily serve as preserves, offering limited public access, resulting in minimal or even zero development costs. On the other hand, some properties may support amenities such as trails, trailhead access, passive recreational areas, or be suitable for ecological restoration and enhancement. Considering the vast differences in improvement requirements for each property, attempting to establish a standardized per-acre cost for Open Space or Park would be highly speculative and potentially misleading.

During the acquisition phase, it is appropriate to outline, in broad terms, the expected types of uses for the Open Space. Once the property is acquired, a comprehensive management plan should be developed to provide detailed information on specific uses and the associated costs of improvements.

Park Land Development

There is more consensus among metropolitan communities regarding rough estimates for standard Park development costs. Typically, the per-acre costs for development fall within the range of \$180,000 to \$250,000, not including land costs, varying based on the Park's type and size (e.g., a smaller, less programmed Neighborhood Park versus a larger, more programmed Community Park). To approximate the expenses associated with enhancing new Park and Recreation land, it is necessary to estimate what portion of the 759 acres would be Open Space and which portion would be Park and Recreation land.

Based on the CCOB's current distribution of public Open Space and Park and Recreation land, for planning purposes, it is estimated that about 88% of the 759 acres would be open space and 12% (91 acres) would be public Park and Recreation land. 91 acres is an estimate for planning purposes only, and was determined based on the desire to exceed the most current NRPA level of service standard for agencies with a population between 100,000 and 250,000 residents (73 acres), while also remaining an attainable goal financially for the City and County of Broomfield.

Of the 91 acres of Park and Recreation land expected to be part of the 759 acres of land acquired to meet the 40% Open Lands objective, three scenarios were developed assuming Park development costs ranged from a low of \$180,000 per acre to a high of \$250,000 per acre as shown in Figure 36.

Based on the analysis in Figure 36, Park development costs could total between \$16 million and \$23 million, depending on the type of Park and the facilities included.

For example, including features such as picnic areas, open lawns, playgrounds, practice fields, dog parks, and parking facilities could all make the cost of Park development toward the high end of the range of estimates. Also, these costs do not include a provision for major improvements such as a Recreation Center or Field House.

POTENTIAL PARK DEVELOPMENT COSTS

Cost Scenario	Acres	Cost Per Acre	Total Acquisition Cost
Low	91	\$180,000	\$16 Million
Average	91	\$215,000	\$20 Million
High	91	\$250,000	\$23 Million

Figure 36: Potential Park Development Costs



Summertime fun in Broomfield

Trail Development Costs

Figure 38 shows future potential trail development costs in Broomfield. Trail development costs can vary significantly depending on several factors, including the choice of base and surface materials, trail width, trail grade, drainage, environmental impacts, required infrastructure like underpasses, bridges, crosswalks, signage, and other similar factors.

Potential future partnership may also exist for future regional trail development. These cost-sharing opportunities may involve other agencies or municipalities that would effect CCOB trail development costs. Some trails may also be developed by the private sector if a future planned trail segment lies within a future development area.

As of July 2023, current estimates for trail construction costs per linear foot (L.F.) are generally falling within these ranges with these parameters:

10' wide concrete trail: \$150 - \$200/LF. This includes the cost of concrete, aggregate base course and other incidentals that are typically expected (excavation, mobilization, etc.). This does not include other items that might be included in a trail project such as concrete removal, installation of pedestrian flashers or the addition of storm drainage.

10' wide crusher fines trail: \$75-\$125/LF. If an aggregate base is not included, the cost would probably be toward the bottom of the above estimate.

To estimate the cost of planned trail development, an average cost of \$140/L.F. was used. The average cost/lineal foot is based on the average of \$150+\$200+\$75+\$125.

The missing links multi-use (28 miles) and soft surface trails (4 miles) within Broomfield represent 170,000 l.f. approximately for an estimated cost of \$23,800,000 based on an average cost of \$140/l.f. using 2023 costs. The missing links trails that are external to Broomfield (12 miles) represent 64,000 l.f. approximately for an estimated cost of \$9,000,000 based on an average cost of \$140/l.f. using 2023 costs.

It is important to note that the above estimates do not reflect that the private sector will likely build some of these trails or that partnerships and grants may be used to decrease construction costs.

As Figure 37 shows, trail development costs to develop missing links could cost approximately \$33 million based assuming a conservative development cost per linear foot.

POTENTIAL TRAIL DEVELOPMENT COSTS			
Trail Name / Type	Length (Feet)	Cost Per L.F.	Total Cost
Broomfield Trail	55,462	\$140	\$7,764,680
Neighborhood Trail Connections	84,790	\$140	\$11,870,600
Regional Trail Connections	87,452	\$140	\$12,243,280
Southeast Community Loop	10,730	\$140	\$1,502,200
Total	238,434		\$33,380,760

Figure 37: Potential Trail Development Costs



Broomfield County Commons Trail in the Winter

Maintenance and Operations/Administration Needs

CCOB addresses staffing using a cross-departmental approach to use public monies and staff time efficiently. This approach encourages coordination and cooperation among various departments to meet maintenance, operations, and administration services.

Maintenance

Parks, Open Space and Trails are maintained by the Parks Maintenance Division within the Parks, Recreation and Senior Services Department (PRSS Department). Communication between the Open Space and Trails Department and PRSS Department allows for collaboration on maintenance practices and needs. Typically, Parks Maintenance staff have a variety of duties that relate to Open Space, Parks, and trails and other maintenance related duties such as snow plowing.

The PRSS Department employs approximately 47 full-time FTE positions to manage Open Space, trails and Park land. They maintain about 6,100 acres of Open Space/Open Lands with 3 FTEs for a staffing ratio of 1 FTE per 2,033 acres. The PRSS Department also maintains 772 acres of public parks and recreational areas with approximately 44 FTE staff members for a ratio of 1 FTE per 18 acres.

It is estimated that 11 additional maintenance staff members will be needed to maintain 663 acres of Open Space and 91 acres of Park and Recreational land, amounting to the total of 759 acres of additional land needed to meet the 40% Open Land objective.

Recreational Operations

A potential for a third recreational facility and multipurpose fields in the northeast portion of the City and County could result in additional staffing needs for both Recreation Services and Parks Services. Recreation Services could need an estimated 20 additional FTE employees for the management, operations, and programming of a future site. Parks Service might need additional staffing due to the maintenance needs of multipurpose fields, irrigation increase, and support.

Open Space and Trails Department Administration/Management Staff

The increase in Open Space, trails and the overall increase in Broomfield's population will likely cause the need for additional services in areas such as development/redevelopment review, wildlife enhancement projects, management plan implementation, policy development, volunteer coordination/programs, event management, native grassland restoration, education outreach, and responses to residents questions related to Open Space, trails and wildlife.

It is estimated that in addition to the current 5 Open Space and Trails Department staff members (1 staff member per 15,885 residents), at least 3 and perhaps 5 new staff positions will be needed based on the population increase to 124,000 residents at build out and the additional public Open Space and new trails.



Broomfield's Open Space Coordinator demonstrating planting instructions for volunteers attending a Planting Day at Broomfield County Commons 2023

6.4 IMPLEMENTATION AND FINANCE STRATEGIES

Expand Non-Traditional Funding Sources

The Open Space and Trails Department and the Parks, Recreation, Senior Services Department are both operating in an era of increasing costs for materials, services, and staff. While growth of the Open Space sales and use tax, property tax accruing to the general fund, and user fees may grow as well, in a rising cost environment it is important to use resources as efficiently as possible. Several tools and strategies can be applied to annual budgeting practices to help increase operational efficiency.

Below are some non-traditional funding sources for Open Space, trails, Parks, and Recreation that can help diversify potential funding sources.

Grants

Grant opportunities offered by government agencies, like Great Outdoor Colorado (GOCO), foundations, and non-profit organizations may be available to fund specific Open Space conservation, trail development, and recreational projects. Grants often have specific eligibility criteria and application processes are best suited to funding one-time expenditures rather than ongoing operations and maintenance.

Corporate Sponsorships and Partnerships

Partnerships with local businesses and corporations can provide financial contributions, in-kind donations, or sponsorship for specific projects or events. These opportunities can be marketed with sponsorship packages that outline the benefits for the sponsor and develop a targeted approach to engage potential corporate partners. Like grants, corporate sponsorship and partnerships are best suited to one-time expenditures.

Public-Private Partnerships (PPPs)

These collaborations between public and private interests can help fund and manage Open Space, trails, Parks, and recreational facilities. PPPs involve entering into a mutually agreeable arrangement where the private sector provides financial support, expertise, or resources in exchange for revenue-generating opportunities or other benefits. Establishing partnerships with private developers, businesses, or non-profit organizations can help use CCOB resources to leverage additional funding.

Conservation Easements

CCOB staff has worked with surrounding counties and cities to establish conservation easements and also worked with individual land owners to create conservation easements. This model could be used in the future although CCOB landowners have typically expressed a preference for fee simple acquisition over the implementation of a conservation easement.

Partnering with land trusts and implementing conservation easements may help leverage existing funding to conserve land that may otherwise be developed or that would be too costly to acquire directly. Land trusts are non-profit organizations that focus on conserving land and natural resources. They exist to acquire and protect Open Space, often through donations and partnerships.

In Colorado, many land trusts use conservation easements to conserve land by allowing landowners maintain ownership while voluntarily restricting certain uses of their land.



Metzger Farm Open Space purchased jointly by a partnership between the City and County of Broomfield and City of Westminster with grants from Adams County Open Space and Great Outdoors Colorado



Chapter 7



MUNICIPAL CODE REVISIONS

Codifying particular elements that relate to the OSPRT Plan will help ensure the success of achieving the OSPRT Plan goals and objective. The code amendment recommendations will help solidify Broomfield's vision for Open Space, Parks, Recreation, and Trails.



Interlocken Central Park (Photo by Tim Seibert)

7.1 PLANNED UNIT DEVELOPMENT REVIEW STANDARDS

Broomfield’s municipal code Section 17-38-120 includes requirements for Planned Unit Development (PUD) Applications. Additional content should be inserted into the review standards section to ensure that PUD Applications address, as applicable, the future needs for OSPRT facilities, adhere to Park design standards and trail design standards, address stormwater conveyance concerns, protect significant natural features, riparian corridors, ridgelines, existing trees, native vegetation, habitat areas, and wildlife.

Code revision content may include:

- The proposal should be consistent with the existing and future facilities and trails of the Open Space, Parks, Recreation, and Trails (OSPRT) Plan. Facilities locations shall be coordinated with the Open Space and Trails Department and the Parks, Recreation, and Senior Services Department.
- The proposal should be consistent with the Park Design Standards and Trail Design Standards of the OSPRT Plan.
- The proposal should address stormwater conveyance and drainage.
- The proposal should be consistent with the riparian corridor protection, tree preservation, native vegetation restoration, and wildlife protection guidelines of the OSPRT Plan.

Revise incorrect references to “open space” to read “private open area” in Item (I) that states “The proposal should provide for open space at a rate of not less than 40% of the developable site in residential areas and 25% in other areas as provided in section 17-38-240 below.” This section is meant to refer to open area and not open space.

7.2 SITE PLAN REVIEW STANDARDS

Broomfield’s municipal code Section 17-38-220 includes requirements for Site Development Plan Applications. Additional content should be inserted into the section to ensure that the Site Development Plan Applications address, as applicable, the future needs for OSPRT facilities, adhere to Park design standards and trail design standards, address stormwater conveyance concerns, protect significant natural features, riparian corridors, ridgelines, existing trees, native vegetation, habitat areas, and wildlife. Although the information below duplicates the information related to the amendment to Section 17-38-120, it is important to list both as the two sections need to be updated in the same manner.

Code revision content may include:

- The proposal should be consistent with the existing and future facilities and trails of the Open Space, Parks, Recreation, and Trails (OSPRT) Plan. Facilities locations shall be coordinated with the Open Space and Trails Department and the Parks, Recreation, and Senior Services Department.
- The proposal should be consistent with the Park Design Standards and Trail Design Standards of the OSPRT Plan.
- The proposal should address stormwater conveyance and drainage.
- The proposal should be consistent with the riparian corridor protection, tree preservation, native vegetation restoration, and wildlife protection guidelines of the OSPRT Plan.

Revise incorrect references to “open space” to read “private open area” in Item (I) that states “The proposal should provide for open space at a rate of not less than 40% of the developable site in residential areas and 25% in other areas as provided in section 17-38-240 below.” This section is meant to refer to open area and not open space.

Chapter 8

MODIFICATIONS TO PUBLIC LAND DEDICATION

The Broomfield Public Land Dedication is proposed to be updated and codified in a separate process from the OSPRT Plan to ensure that future development contributes to the OSPRT needs of the overall community and the particular proposed residential project. Community engagement has shaped these proposed changes. The process for creating the draft amendments and the proposed provisions are explained in this chapter.

8.1 THE EXISTING PUBLIC LAND DEDICATION FORMULA

New residential development is currently required to provide a public land dedication (PLD) consistent with the 2005 OSPRT Plan. These provisions are policy rather than requirements in the Broomfield Municipal Code. The purpose of the PLD is highlighted below:

PURPOSE OF PUBLIC LAND DEDICATION

- **Contributes to Comprehensive Plan Goal of 40% Open Lands Community-Wide**
- **Provides Equitable Access to OSPRT Amenities for all Broomfield residents**
- **Enhances Quality of Life**
- **Improves Community and Individual Mental/Physical Health and Overall Wellness**
- **Fosters Places for Social Interaction**
- **Accommodates Demand for OSPRT Amenities Generated By Residential Development**
- **Reinforces a Strong Community Image that Reflects the Value Broomfield Places on Equity, Health, Recreation, Natural Resources, Wildlife; Beauty of the Land; and Sustainability**
- **Supports the Provision of School Sites When Needed to Foster Educational Opportunity**

Current 2005 OSPRT Plan PLD Approach

The 2005 PLD is premised on the concept of providing equitable access to public Parks and Open Space for all residents. The formula calls for 16 acres of Park per 1,000 residents and 8 acres of Open Space per 1,000 residents. The formula is based on the number of residents generated by type of dwelling unit in contrast to the 1987 PLD that is premised on the number of dwelling units regardless of population generated. Typically, the PLD ratio between Open Space and Parks is not strictly applied to development proposals. Instead, the character of the land and OSPRT needs within the project guide what uses will be provided on the PLD land.

The 2005 OSPRT Plan outlined provisions for an updated PLD code amendment (2005 PLD). The 2005 PLD guidelines call for proposed residential projects to dedicate 25% of the residential site area that is generating the need for public Park and Open Space with the balance of the PLD being met by either Cash-in-Lieu (CIL), additional land or both CIL and land. The applicant could provide all of the additional PLD on site if so desired. If the 25% on-site PLD requirement is met and the balance of the remaining PLD is proposed to be addressed by CIL, the CIL was calculated based on an average cost per acre of previous Broomfield Open Space acquisitions ranging over a time period of 5 to 7 years. If the minimum 25% on-site dedication is not met on site, then the unmet balance is typically addressed by CIL based on the market value of the land within the proposed residential project and is applied up to the 25% on site requirement. Any remaining PLD requirement above the 25% on site minimum is applied using the average cost per acre of previous Broomfield Open Space land acquisitions as described above.

The City and County of Broomfield follows (PLD) requirements that are policy rather than code. This OSPRT Plan calls for codifying the updated PLD formula.



Wildgrass Park

Example of the 2005 Plan Public Land Dedication Formula

Current 2005 Plan Public Land Dedication (PLD) Approach

- Formula: 24 acres per 1,000 persons
 - (8 Acres of Open Space and 16 Acres of Park)
- 25% of the residential site is allocated to public Park and/or public Open Space
- If the 25% public land dedication is not met on the site, the developer pays market value per acre for the public land dedication not provided
- The remaining balance of the PLD is encouraged to also be provided within the project but can be covered by CIL
- If the 25% PLD is met on site but there is still a remaining PLD balance, the CIL cost per acre for the balance is evaluated periodically based on the most recent Broomfield purchases of public Open Space and public Park land

EXAMPLE OF THE CURRENT PLD APPROACH APPLIED TO A 20 ACRE SITE WITH 300 RESIDENTS



- **Project Site Size: 20 acres**
- **Site Population: 300 Residents**
- **PLD Required: 7.2 Acres**
 - $(24 \text{ Acres} \times 300 \text{ people} / 1,000 = 7.2 \text{ Acres})$
- **25% Minimum On-Site Required: 5 Acres**
 - $(20 \text{ Acres} \times .25 = 5 \text{ Acres})$
- **Remaining CIL Required: 2.2 Acres Per Formula below:**
 - $(2.2 \text{ Acres} \times \text{Average of previous CCOB land acquisitions in recent years})$

Since the current PLD formula is only a policy, the method for meeting the PLD obligation is often negotiated. Developers may seek to meet a larger portion or even all of the PLD obligation through a CIL payment.

Figure 38: 2005 Plan Example PLD Formula

Reasons to Propose Changes

- Challenges with multi-family projects providing the on-site public land dedication, particularly on smaller sites.
- Community desire to address a variety of community goals such as Income Aligned Housing and Sustainability in private residential development projects.
- Desire to achieve equitable access and location of Open Space and Park lands for all residents throughout the community (Level of Service).
- Desire to encourage actual land dedication instead of Cash-in-Lieu.
- Incorporation of the proposed updated PLD approach into the Municipal Code will add clarity and greater certainty to the development review process.
- Developer/Housing/Business Focus Group Feedback indicated a desire to make the requirement more achievable for higher density development.
- Community Engagement results indicate that more Open Space and Park lands are desirable.
- The proposed changes to the 2005 PLD are also based on a review of recent site development plans' PLD to get a better understanding of what PLD is achievable.

8.2 PROPOSED REVISIONS AND INCOME ALIGNED HOUSING CONSIDERATIONS

Collaboration on Proposed Changes to the Public Land Dedication

Numerous meetings and extensive collaboration efforts have occurred among various CCOB departments and community members throughout the OSPRT Plan process. The following groups have provided significant input into the PLD update:

- Development/Nonprofits/Business Housing Focus Group
- Overall OSPRT Refresh Community Engagement
- OSPRT Consultant Team
- Planning Division
- Economic Vitality/Housing Department
- Parks, Recreation and Senior Services Department
- Attorneys Office
- Open Space and Trails Department
- City Council comments made at the July 18, 2023 Study Session as well as OSTAC and PRSSAC input provided at several joint meetings also shaped the proposed changes to the public land dedication

Public Land Dedication Formula

The PLD Formula of 24 acre/1000 residents will remain in effect to calculate the general PLD obligation for a given project. The method of meeting the obligation is proposed to vary based on the type of project as summarized below.

Residential Projects that Do Not Include Income Aligned Housing

Projects that do not include any Income Aligned Housing are proposed to continue to meet the 24 acres/1,000 persons formula. The 25% on site PLD provision is also proposed to remain. For projects that do not meet the 25% on site PLD, the unmet balance for CIL would be valued at the market price per acre. If the 25% on site PLD is met and there is a remaining balance of PLD, the CIL would be based on the Assessor's average value per acre for vacant land.

The consultant team has also found that, in general, residential development projects typically allocate about 20 to 25% of the project's land area to amenities such as Parks and Open Space. This ±20-25% concept has become a reliable industry standard and is often used in preliminary analysis stages. Places like Aurora, Castle Rock, Colorado Springs, Erie, Longmont, Westminster, Fountain, and several other municipalities along the front range have land dedication requirements that are generally the equivalent to ±20%.

Income Aligned Housing

Income Aligned Housing is a key Council goal and should be taken into consideration for PLD requirements. Income aligned housing multi-family projects proposed for relatively small sites can be challenging to provide for the PLD, sustainability improvements, and other community amenities. This concern also arose from the Developer/Business/Housing Focus Group.

Values and Equity

- Income Aligned Housing is a primary community and council goal.
- 100% income aligned housing projects that meet 60% or lower Area Median Income (AMI) would meet the on-site PLD (generally 15-20% of the site area depending on total project acreage). However, the entire CIL would be waived to incentivize the construction of building this type of housing.
- For projects that have a mix of market and income aligned housing or 100% income aligned housing developments that exceed 60% AMI, the on-site PLD requirements would be met (generally 15-20% of the site area depending on total project acreage). CIL would be based on the percentage of AMI level the income aligned units met and the percentage of income aligned housing that made up the total number of units. This formula will be further refined and will include input from OSTAC and PRSSAC when the public land dedication ordinance is presented to City Council for consideration.

Figure 39 shows a summary of the PLD requirements for projects that include income aligned housing units on site.



US 36 Bikeway in the Flatiron Crossing Neighborhood

100% INCOME ALIGNED HOUSING PROJECTS THAT MEET 60% AMI

Site Size	Required Minimum % of On Site PLD	Cash-In-Lieu (CIL) if On Site PLD Requirement is Met	Cash-In-Lieu (CIL) if On Site PLD Requirement is Not Met
10 Acres or Greater	20%	No CIL	Balance of On Site PLD is met by Assessor's Value per Acre for Vacant Land
Less Than 10 Acres	15%	No CIL	Balance of On Site PLD is met by Assessor's Value per Acre for Vacant Land

RESIDENTIAL PROJECTS THAT HAVE A PERCENTAGE OF INCOME ALIGNED HOUSING UNITS OR 100% INCOME ALIGNED HOUSING DEVELOPMENTS THAT ARE ABOVE THE 60% AMI (*)

Site Size	Required Minimum % of On Site PLD	Cash-In-Lieu (CIL) if On Site PLD Requirement is Met	Cash-In-Lieu (CIL) if On Site PLD Requirement is Not Met
10 Acres or Greater	20%	Unmet Balance of Remaining PLD is Paid at the Assessor's Value per Acre for Vacant Land	Unmet Remaining Balance of On Site PLD is Paid at the Market Price per Acre
Less Than 10 Acres	15%	Unmet Balance of Remaining PLD is Paid at the Assessor's Value per Acre for Vacant Land	Unmet Remaining Balance of On Site PLD is Paid at the Market Price per Acre

(*) For these types of projects, the on-site PLD requirements would be met (20% for sites 10 acres and greater and 15% for sites under 10 acres) and CIL based on the percentage of AMI level and the percentage of income aligned housing. This formula will be developed with OSTAC/ PRSSAC input when the public land dedication ordinance is presented to the City Council for consideration.

Figure 39: PLD Dedication Table



Arista Park in the Arista Neighborhood

HIGHLIGHTS: PROPOSED PLD ORDINANCE

For All Residential Projects that Do Not Include Income Aligned Housing the Acres/1,000 Residents and Percent of the Site for the PLD Remain Unchanged:

- 24 Acres / 1,000 Residents requirement remains
- 25% of on site PLD requirement remains

CIL Requirements for All Types of Residential Projects that Do Not Include Income Aligned Housing:

- Any unmet portion of the minimum 25% on-site PLD will be paid at the market price per acre.
- The remaining balance of PLD required beyond the 25% of the site will be provided at the Assessor's average value per acre for vacant land.

100% Income Aligned Housing Projects that Meet the 60% Area Median Income (AMI) or Less:

- 24 acres/1,000 Residents formula remains.
- Sites 10 acres or greater in size: 20% on site PLD is required; No CIL provided that the on site requirement is met.
- Sites less than 10 acres in size: 15% on site PLD is required; No CIL provided that the on site requirement is met.
- If the project does not meet the % of on site PLD required, then the unmet on site PLD is addressed by CIL at the Assessor's average value per acre for vacant land.
- The remaining balance of PLD for CIL is waived.

Residential Projects that Have a Percentage of Income Aligned Housing Units or 100% Income Aligned Housing Developments that are Above the 60% AMI:

- For projects that have a mix of market and income aligned housing or include 100% income aligned housing above the 60% AMI, the on-site PLD requirements would be met (Sites 10 acres or greater in size: 20% PLD is required; Sites less than 10 acres in size: 15% on site PLD is required) and CIL based on the percentage of AMI level and the percentage of income aligned housing within the project. This formula will be developed with OSTAC/PRSSAC input when the PLD ordinance is presented to City Council for consideration. The CIL price per acre will also be addressed in this formula.

Other provisions that apply to all projects:

- The CIL value will be updated every two years based on the Assessor's average value for vacant land so that the CIL reflects more accurately the actual value of land. This calculation considers larger parcels generally greater in size than approximately 20 acres.
- On site dedications that are less than 3 acres will be counted as PLD as long as a permanent public access easement is provided and the landowner agrees to be responsible for the maintenance of the PLD parcel
- PLD sites need to be amenitized-i.e. Have improvements that include items such as shade structures, benches, playgrounds, trail connections, and signage indicating the public is welcome.
- For Residential Subdivisions that have 5 or less lots, PLD is required based on the above proposed provisions but may be addressed by on site PLD only, CIL only or a combination of PLD and CIL given the small number of lots.
- Site size is measured as the gross area for residential use minus the arterial right of way.

Public Land Dedication Next Steps

Once the OSPRT Plan is reviewed, amended if needed and approved by City Council if they so desire, a public land dedication ordinance incorporating the provisions of the OSPRT Plan is proposed to be completed.



Broomfield Days at Midway Park



Chapter 9



APPENDICES

Supporting documents and data that give further detail to the Plan's content are listed as appendices to the OPSRT Plan.



Flowering Yucca

APPENDIX A: COMMUNITY INPUT SUMMARY

The Community Input Summary shows the detailed response information gathered through the community survey, focus groups, pop-up events, and other outreach efforts.

APPENDIX B: PARKS AND FACILITIES INVENTORY

This appendix is a spreadsheet that lists the existing Park facilities of Broomfield.

APPENDIX C: ECOLOGICAL QUALITY SUMMARY

This appendix shows more detailed information regarding the Ecological Assessment Data.

APPENDIX D: TRAIL DESIGN STANDARDS SUPPORTING INFORMATION

This appendix contains supporting evidence and information regarding the trail design standards, the trail speed limits, and micro-mobility device guidelines.

APPENDIX E: TRAILS MISSING LINKS PRIORITIZATION ANALYSIS

This appendix contains the detailed calculation data for the Trails Missing Links Prioritization analysis.

APPENDIX F: OPEN SPACE MANAGEMENT AND MAINTENANCE RECOMMENDATIONS

This appendix contains additional guideline recommendations to reflect changes in best management practices and to help staff continue their ongoing stewardship of Open Space properties. It also contains a table that lists the appropriate or potentially appropriate uses and facilities for Parks and Recreation Areas and Open Space Areas.

APPENDIX G: LAND ACQUISITION SUITABILITY ANALYSIS

This appendix contains the detailed calculation criteria for the Land Acquisition Suitability Analysis for both Open Space and Parks.

APPENDIX H: COMPARISON OF LOCAL GOVERNMENT REQUIREMENTS LAND DEDICATION

This appendix contains tables that compare different Colorado municipal requirements for land dedication.