

NORTH PARK FILING NO. 6 FINAL PLAT

A RESUBDIVISION OF LOT 2, BLOCK 2, NORTH PARK FILING NO. 1 REPLAT B AND TRACT A, NORTH PARK SUBDIVISION FILING NO. 1 REPLAT D AND LOT 1, BLOCK 1, ANTHEM FILING NO. 5, REPLAT A LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF BROOMFIELD, STATE OF COLORADO.
SHEET 1 OF 12

LEGAL DESCRIPTION AND DEDICATIONS:

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED, BEING THE OWNER OF THOSE LANDS DESCRIBED AS FOLLOWS:
 A PARCEL OF LAND BEING LOT 2, BLOCK 2, NORTH PARK FILING NO. 1, REPLAT B, RECORDED SEPTEMBER 12, 2013 IN THE OFFICE OF THE CLERK AND RECORDER OF THE CITY AND COUNTY OF BROOMFIELD UNDER RECEPTION NUMBER 2013013318; TOGETHER WITH TRACT A, NORTH PARK FILING NO. 1, REPLAT D, RECORDED FEBRUARY 3, 2017 IN THE OFFICE OF THE CLERK AND RECORDER OF THE CITY AND COUNTY OF BROOMFIELD UNDER RECEPTION NUMBER 2017001585; TOGETHER WITH LOT 1, BLOCK 1, ANTHEM FILING NO. 5, REPLAT A, RECORDED MARCH 20, 2009 IN THE OFFICE OF THE CLERK AND RECORDER OF THE CITY AND COUNTY OF BROOMFIELD UNDER RECEPTION NUMBER 2009003316, ALL LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF BROOMFIELD, STATE OF COLORADO.

CONTAINING A COMBINED AREA OF 2,301,648 SQUARE FEET (52.83857 ACRES) OF LAND, MORE OR LESS.

HAS LAID OUT, PLATTED AND SUBDIVIDED THE ABOVE DESCRIBED LAND, UNDER THE NAME AND STYLE OF NORTH PARK FILING NO. 6; AND BY THESE PRESENTS DEDICATES, GRANTS AND CONVEYS IN FEE SIMPLE TO THE CITY AND COUNTY OF BROOMFIELD FOR PUBLIC USE THE PUBLIC RIGHTS OF WAY AS SHOWN ON THE PLAT, AND GRANTS TO THE CITY AND COUNTY OF BROOMFIELD THE EASEMENTS AS SHOWN OR NOTED ON THE PLAT AND CREATED BY THIS PLAT FOR PUBLIC AND MUNICIPAL USES AND FOR USE BY FRANCHISEES OF THE CITY AND COUNTY OF BROOMFIELD AND FOR USE BY PUBLIC AND PRIVATE UTILITIES.

OWNER CERTIFICATE:

MCWHINNEY COOB LAND INVESTMENTS, LLC, A COLORADO LIMITED LIABILITY COMPANY
 2725 ROCKY MOUNTAIN AVENUE
 LOVELAND, CO 80538
 CONTACT: JIM NIEMCZYK

BY: Peter Lauener
 PETER LAUENER, PRESIDENT

NOTARY CERTIFICATE
 STATE OF COLORADO)
 COUNTY OF Denver)SS
 COUNTY OF BROOMFIELD)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12th DAY OF February A.D. 2019 BY Peter Lauener AS President OF MCWHINNEY REAL ESTATE SERVICES, INC., A COLORADO CORPORATION, AS MANAGER OF MCWHINNEY COOB LAND INVESTMENTS, LLC, A COLORADO LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL
Linda J. Singer
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 9/5/19

LINDA J. SINGER
 NOTARY PUBLIC
 STATE OF COLORADO
 NOTARY ID: 1985401846
 MY COMMISSION EXPIRES SEPTEMBER 05, 2019

OWNER CERTIFICATE:

COOB INVESTMENTS, LLC, A COLORADO LIMITED LIABILITY COMPANY
 2725 ROCKY MOUNTAIN AVE., SUITE 200
 LOVELAND, CO 80538
 CONTACT: MICHAEL S. WARREN, SENIOR VICE PRESIDENT & GENERAL COUNSEL

BY: Michael S. Warren
 MICHAEL S. WARREN, SENIOR VICE PRESIDENT & GENERAL COUNSEL

NOTARY CERTIFICATE
 STATE OF COLORADO)
 CITY AND COUNTY OF DENVER)SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12th DAY OF February A.D. 2019 BY MICHAEL S. WARREN, SENIOR VICE PRESIDENT & GENERAL COUNSEL OF MCWHINNEY REAL ESTATE SERVICES, INC., A COLORADO CORPORATION, AS MANAGER OF COOB INVESTMENTS, LLC, A COLORADO LIMITED LIABILITY COMPANY.

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 MY COMMISSION EXPIRES: 9/5/19

LINDA J. SINGER
 NOTARY PUBLIC
 STATE OF COLORADO
 NOTARY ID: 1985401846
 MY COMMISSION EXPIRES SEPTEMBER 05, 2019

OWNER & SUBDIVIDER CERTIFICATE:

NP DEVELOPMENT, INC., A COLORADO CORPORATION
 1800 WAZEE ST., SUITE 200
 DENVER, CO 80202
 CONTACT: PETER LAUENER, PRESIDENT

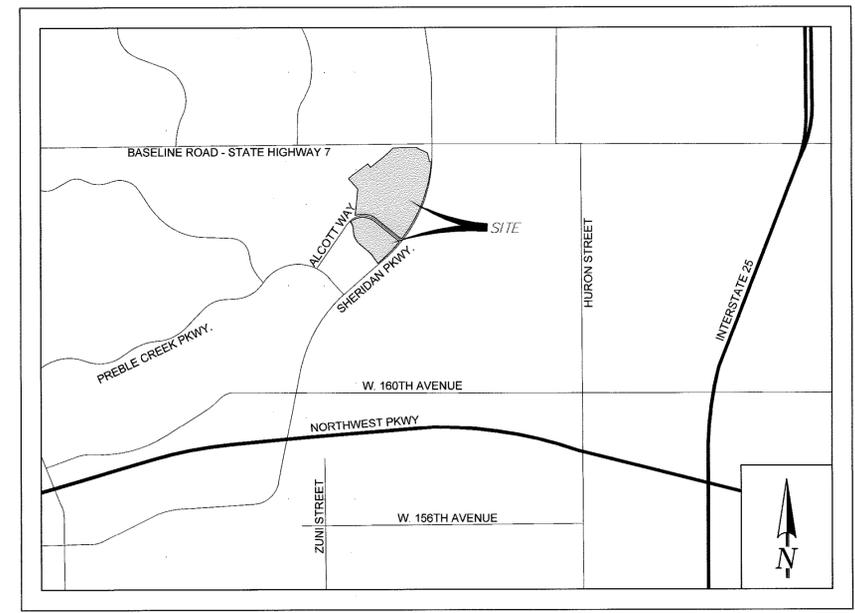
BY: Peter Lauener
 PETER LAUENER, PRESIDENT

NOTARY CERTIFICATE
 STATE OF COLORADO)
 COUNTY OF Denver)SS
 COUNTY OF BROOMFIELD)

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 MY COMMISSION EXPIRES: 9/5/19

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 STATE OF COLORADO
 NOTARY ID: 1985401846
 MY COMMISSION EXPIRES SEPTEMBER 05, 2019



VICINITY MAP
N.T.S.

GENERAL NOTES:

1. THERE ARE 387 LOTS AND 58 TRACTS WITHIN NORTH PARK FILING NO. 6 FINAL PLAT
2. BASIS OF BEARINGS: THE BEARINGS SHOWN ON THIS MAP ARE GRID BEARINGS DERIVED FROM GPS OBSERVATIONS BASED UPON THE COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE (NAD 83, 1992), BEING REFERENCED TO A LINE BETWEEN THE CITY AND COUNTY OF BROOMFIELD CONTROL POINTS "LUCY" AND "GPS NO. 32" DETERMINED TO BEAR SOUTH 35°07'01" WEST WITH A MODIFIED STATE PLANE DISTANCE OF 9,415.10 FEET.
3. PROJECT BENCHMARK: CITY AND COUNTY OF BROOMFIELD CONTROL POINT "LUCY". ELEVATION = 5297.00' (DATUM = NAVD 88)
4. THE COMBINED FACTOR USED TO CONVERT GROUND COORDINATES TO STATE PLANE COORDINATES IS 0.999716267. STATE PLANE COORDINATES ARE DERIVED FROM GROUND COORDINATES USING THE FOLLOWING FORMULA: STATE PLANE COORDINATES = (GROUND COORDINATES * 0.999716267).
5. ALL DISTANCES SHOWN ON THIS PLAT ARE GROUND DISTANCES IN U.S. SURVEY FEET.
6. RESERVED
7. THE COLORADO COORDINATE SYSTEM SHOWN HEREON IS DEFINED AS A SECOND ORDER CLASS 2, 1:20,000 AS DESCRIBED IN THE "GEOMETRIC GEODETIC ACCURACY STANDARDS AND SPECIFICATIONS FOR USING GPS RELATIVE POSITIONING TECHNIQUES AND/OR STANDARDS AND SPECIFICATIONS FOR GEODETIC CONTROL NETWORKS" BY THE FEDERAL GEODETIC CONTROL COMMITTEE.
8. TRACTS A - Z AND AA - TT AS SHOWN ON THIS PLAT AND IDENTIFIED IN THE LAND USE TABLE, ARE DESIGNATED AS OPEN SPACE LANDS AND SHALL BE OWNED BY THE NORTH PARK METROPOLITAN DISTRICT NO. 1 AND/OR THE HOMEOWNERS ASSOCIATION AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION AND/OR NORTH PARK METROPOLITAN DISTRICT NO. 1.
9. TRACT N, AS SHOWN ON THIS PLAT AND IDENTIFIED IN THE LAND USE TABLE, IS DESIGNATED AS OPEN LANDS AND SHALL BE OWNED BY THE CITY AND COUNTY OF BROOMFIELD. TRACT N SHALL BE MAINTAINED BY NORTH PARK METROPOLITAN DISTRICT.
10. TRACTS AAAA, BBBB, CCCC, DDDD, EEEE, FFFF, GGGG, HHHH, IIII, JJJJ, KKKK AND LLLL ARE TO BE PRIVATE STREETS MAINTAINED BY THE HOMEOWNERS ASSOCIATION AND/OR NORTH PARK METROPOLITAN DISTRICT NO. 1.
11. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
12. FLOOD ZONE: THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS SHOWN IN FLOOD INSURANCE RATE MAP (FIRM), MAP NUMBER 0850730085G, HAVING A MAP REVISED DATE OF OCTOBER 2, 2013.
13. ALL EASEMENTS ARE HEREBY GRANTED ON ALL LOTS AS SHOWN HEREON.
14. THE OWNER SHALL DISCLOSE TO PROSPECTIVE PURCHASERS OF LOTS WITHIN A RADIUS OF TWO HUNDRED FEET (200) OF THE PLUGGED AND ABANDONED WELL OF (1) THE LOCATION OF THE PLUGGED AND ABANDONED WELL, (2) THE LOCATION OF THE MAINTENANCE AND WORKOVER EASEMENT, AND (3) THE PURPOSE FOR THE WELL MAINTENANCE AND WORKOVER EASEMENT.
15. NO BUILDING PERMIT OR CERTIFICATE OF OCCUPANCY SHALL BE ISSUED FOR ANY BUILDING OR STRUCTURE WITHIN THE BOUNDARIES OF THIS FINAL PLAT UNLESS AND UNTIL AN OWNER'S TITLE POLICY HAS BEEN DELIVERED TO THE CITY AND COUNTY OF BROOMFIELD AND THE PREMIUM PAID THEREON IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16-20-030(0), B.M.C.
16. A WELL MAINTENANCE AND WORKOVER EASEMENT IS HEREBY DEDICATED TO THE CITY OF BROOMFIELD AS SHOWN ON THIS PLAT.
17. THE SUBJECT PROPERTY CONTAINS 2,301,648 SQUARE FEET (52.83857 ACRES) MORE OR LESS.

SHEET INDEX

SHEET 1	TITLE PAGE
SHEET 2	TABULATION SHEET
SHEET 3	BOUNDARY SURVEY AND MONUMENTATION
SHEETS 4-12	LOTS, BLOCKS, STREETS, TRACTS PLAN

TITLE COMMITMENT NOTES:

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY MATRIX DESIGN GROUP, INC. TO DETERMINE THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS OF LAND, OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY OR TITLE OF RECORD, MATRIX DESIGN GROUP, INC. RELIED UPON COMMITMENT FOR TITLE REPORT ISSUED FEBRUARY 6, 2019 BY LAND TITLE GUARANTEE COMPANY AND PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, FILE/ORDER NO. ABD70561874.1, WITH AN EFFECTIVE DATE OF FEBRUARY 1, 2019 AT 5:00 P.M.

PLANNING AND ZONING COMMISSION CERTIFICATE:

THIS FINAL PLAT IS RECOMMENDED FOR APPROVAL BY THE CITY COUNCIL OF THE CITY AND COUNTY OF BROOMFIELD PLANNING AND ZONING COMMISSION THIS 27th DAY OF August, 2018
Thomas A. Silva CHAIRMAN
Walt SECRETARY

CITY COUNCIL CERTIFICATE:

THIS FINAL PLAT IS HEREBY APPROVED AND THE DEDICATIONS ACCEPTED, BY THE CITY COUNCIL OF THE CITY AND COUNTY OF BROOMFIELD, COLORADO, ON THIS 22nd DAY OF January, 2019.
James MAYOR
Daniel Hunzler CITY CLERK Deputy

ATTORNEY'S CERTIFICATE:

I, Robert Detrick, AN ATTORNEY LICENSED TO PRACTICE LAW IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE PERSON(S) DEDICATING THE STREETS, EASEMENTS, PARCELS OF LAND, AND RIGHTS-OF-WAY TO THE CITY AND COUNTY OF BROOMFIELD OWNS THEM IN FEE SIMPLE FREE AND CLEAR OF ALL LIENS, EXCEPT AS IDENTIFIED HEREIN OR AS OTHERWISE IDENTIFIED ON THIS PLAT OR TITLE COMMITMENT, AND THAT THERE ARE NO ENCUMBRANCES, EXCEPT AS IDENTIFIED HEREIN OR AS OTHERWISE IDENTIFIED ON THIS PLAT OR TITLE COMMITMENT, WHICH PREVENT THE CITY FROM UTILIZING THE DEDICATED PROPERTY FOR SUCH PURPOSES AS IS IDENTIFIED ON THIS PLAT, AND THE CITY MAY RELY UPON THIS REPRESENTATION IN ACCEPTING SUCH DEDICATIONS.

B LICENSE NUMBER: 23154

SURVEYOR'S CERTIFICATE

I, ROBERT L. MEADOWS, JR., A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT IS ACCURATE, CONFORMS TO ALL APPLICABLE COLORADO STATE LAWS, THE REQUIREMENTS SET FORTH IN CHAPTER 16-20 OF THE BROOMFIELD MUNICIPAL CODE, AND THAT THE SURVEY WAS PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS BY ME OR UNDER MY DIRECT RESPONSIBILITY, SUPERVISION AND CHECKING.

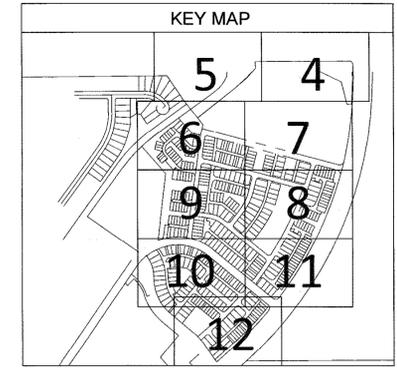


ROBERT L. MEADOWS, JR., PLS 34977
 SURVEY DEPARTMENT DIRECTOR
 2435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920

GENERAL LAND USE TABLE

NET ACREAGE	2,101,103 SQ. FT.
GROSS ACREAGE	2,301,648 SQ. FT.
NUMBER OF LOTS	387
NUMBER OF TRACTS	58
NUMBER OF BUILDABLE LOTS (LAND USE TYPE) 387 (RESIDENTIAL)	
NET ACREAGE FOR PUBLIC STREETS	174,769 SQ. FT.

(SEE SHEET 2 FOR DETAILED USES)



PREPARED BY:
Matrix DESIGN GROUP
 1601 Blake Street, Suite 300
 Denver, CO 80202
 Phone 303-572-0700
 Fax 303-572-0700

SACD PRODUCTS • NEW HOPE, MINNESOTA
 REGISTERED OWNER OF PATENT FOR THIS LINE
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NORTH PARK FILING NO. 6

FINAL PLAT

A RESUBDIVISION OF LOT 2, BLOCK 2, NORTH PARK FILING NO. 1 REPLAT B AND TRACT A, NORTH PARK SUBDIVISION FILING NO. 1 REPLAT D AND LOT 1, BLOCK 1, ANTHEM FILING NO. 5, REPLAT A LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF BROOMFIELD, STATE OF COLORADO.
 SHEET 2 OF 12

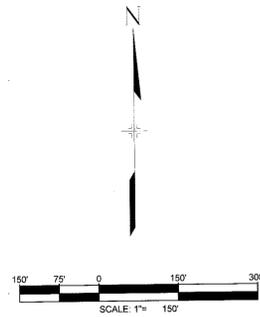
LAND USE TABLE					
LOT - TRACT - STREET	LAND USE	AREA (SQ. FT.)	AREA ACRES	OWNERSHIP	MAINTENANCE
LOTS	RESIDENTIAL	842,423	19.339		PRIVATE
TRACT ID					
A	OPEN LANDS	1,015	0.023	DISTRICT/HOA	HOA
B	OPEN LANDS	1,006	0.023	DISTRICT/HOA	HOA
C	OPEN LANDS	935	0.021	DISTRICT/HOA	HOA
D	OPEN LANDS	15,123	0.347	DISTRICT/HOA	DISTRICT/HOA
E	OPEN LANDS	1,428	0.033	DISTRICT/HOA	DISTRICT
F	OPEN LANDS	16,785	0.385	DISTRICT/HOA	DISTRICT
G	OPEN LANDS	1,040	0.024	DISTRICT/HOA	DISTRICT
H	OPEN LANDS	33,922	0.779	DISTRICT/HOA	DISTRICT
I	OPEN LANDS	1,108	0.025	DISTRICT/HOA	HOA
J	OPEN LANDS	16,262	0.374	DISTRICT/HOA	DISTRICT
K	OPEN LANDS	1,362	0.031	DISTRICT/HOA	DISTRICT/HOA
L	OPEN LANDS	81,704	1.876	DISTRICT/HOA	DISTRICT
M	OPEN LANDS	14,767	0.339	DISTRICT/HOA	DISTRICT/HOA
N	OPEN LANDS	19,225	0.441	CCOB	CCOB
O	OPEN LANDS	877	0.020	DISTRICT/HOA	HOA
P	OPEN LANDS	2,184	0.050	DISTRICT/HOA	HOA
Q	OPEN LANDS	2,023	0.046	DISTRICT/HOA	HOA
R	OPEN LANDS	19,837	0.455	DISTRICT/HOA	DISTRICT/HOA
S	OPEN LANDS	12,121	0.278	DISTRICT/HOA	DISTRICT/HOA
T	OPEN LANDS	860	0.020	DISTRICT/HOA	HOA
U	OPEN LANDS	776	0.018	DISTRICT/HOA	HOA
V	OPEN LANDS	1,809	0.042	DISTRICT/HOA	HOA
W	OPEN LANDS	1,309	0.030	DISTRICT/HOA	HOA
X	OPEN LANDS	1,161	0.027	DISTRICT/HOA	HOA
Y	OPEN LANDS	40,866	0.938	DISTRICT/HOA	DISTRICT/HOA
Z	OPEN LANDS	1,147	0.026	DISTRICT/HOA	HOA
AA	OPEN LANDS	1,086	0.025	DISTRICT/HOA	HOA
BB	OPEN LANDS	1,098	0.025	DISTRICT/HOA	HOA
CC	OPEN LANDS	588	0.013	DISTRICT/HOA	HOA
DD	OPEN LANDS	1,370	0.031	DISTRICT/HOA	DISTRICT/HOA
EE	OPEN LANDS	1,795	0.041	DISTRICT/HOA	DISTRICT/HOA
FF	OPEN LANDS	2,973	0.068	DISTRICT/HOA	DISTRICT/HOA
GG	OPEN LANDS	2,481	0.057	DISTRICT/HOA	DISTRICT/HOA
HH	OPEN LANDS	1,977	0.045	DISTRICT/HOA	DISTRICT
II	OPEN LANDS	1,683	0.039	DISTRICT/HOA	DISTRICT
JJ	OPEN LANDS	3,836	0.088	DISTRICT/HOA	DISTRICT/HOA
KK	OPEN LANDS	1,916	0.044	DISTRICT/HOA	DISTRICT
LL	OPEN LANDS	630	0.014	DISTRICT/HOA	DISTRICT
MM	OPEN LANDS	816	0.019	DISTRICT/HOA	DISTRICT/HOA
NN	OPEN LANDS	18,045	0.414	DISTRICT/HOA	DISTRICT
OO	OPEN LANDS	727	0.017	DISTRICT/HOA	DISTRICT
PP	OPEN LANDS	761	0.017	DISTRICT/HOA	HOA
QQ	OPEN LANDS	91,221	2.094	DISTRICT/HOA	DISTRICT
RR	OPEN LANDS	4,648	0.107	DISTRICT/HOA	DISTRICT/HOA
SS	OPEN LANDS	761	0.017	DISTRICT/HOA	DISTRICT/HOA
TT	OPEN LANDS	56,018	1.286	DISTRICT/HOA	DISTRICT/HOA
AAAA	STREET	86,363	1.983	DISTRICT/HOA	HOA
BBBB	STREET	3,397	0.078	DISTRICT/HOA	HOA
CCCC	STREET	3,397	0.078	DISTRICT/HOA	HOA
DDDD	STREET	18,438	0.423	DISTRICT/HOA	HOA
EEEE	STREET	11,321	0.260	DISTRICT/HOA	HOA
FFFF	STREET	3,460	0.079	DISTRICT/HOA	HOA
GGGG	STREET	3,460	0.079	DISTRICT/HOA	HOA
HHHH	STREET	13,972	0.321	DISTRICT/HOA	HOA
IIII	STREET	18,149	0.417	DISTRICT/HOA	HOA
JJJJ	STREET	16,639	0.382	DISTRICT/HOA	HOA
KKKK	STREET	20,251	0.465	DISTRICT/HOA	HOA
LLLL	STREET	10,242	0.235	DISTRICT/HOA	HOA
TOTAL TRACTS		694,170	15.936		

CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH
C90	4°14'42"	195.00'	14.45'	S09°46'26"W	14.45'
C92	90°00'00"	5.00'	7.85'	S03°31'47"W	7.07'
C93	90°00'00"	5.00'	7.85'	S86°28'13"E	7.07'
C94	90°00'00"	5.00'	7.85'	N03°31'47"E	7.07'
C95	90°23'05"	5.00'	7.89'	S87°34'39"W	7.09'
C97	1°41'25"	178.00'	5.25'	S08°29'44"W	5.25'
C103	86°33'28"	5.00'	7.55'	N61°27'10"E	6.86'
C105	87°13'34"	5.00'	7.61'	N07°18'32"W	6.90'
C109	2°30'03"	212.00'	9.25'	S08°54'03"W	9.25'
C110	90°00'00"	5.00'	7.85'	S82°39'02"W	7.07'
C111	90°00'00"	5.00'	7.85'	N37°20'58"W	7.07'
C114	72°00'57"	25.00'	31.42'	N86°55'48"W	29.39'
C115	72°58'25"	25.00'	31.84'	S83°43'01"E	29.73'
C116	72°58'27"	25.00'	31.84'	N10°44'36"W	29.73'
C117	73°44'23"	25.00'	32.18'	N04°36'01"W	30.00'
C118	73°44'23"	25.00'	32.18'	S78°20'25"E	30.00'
C119	67°26'20"	25.00'	29.43'	S84°38'29"E	27.76'
C120	81°38'18"	25.00'	35.62'	S10°06'10"E	32.66'
C121	49°27'51"	25.00'	21.58'	N63°48'37"E	20.92'
C122	49°27'51"	25.00'	21.58'	S14°20'45"W	20.92'
C123	75°35'19"	25.00'	32.98'	N88°42'59"W	30.64'
C124	70°21'26"	25.00'	30.70'	S15°44'36"E	28.81'
C125	77°44'45"	25.32'	34.35'	S82°39'30"W	31.78'
C126	72°58'25"	25.00'	31.84'	S75°52'32"W	29.73'
C128	72°58'25"	25.00'	31.84'	S31°09'03"E	29.73'
C129	70°17'52"	25.00'	30.67'	N69°34'59"E	28.79'
C130	77°10'55"	25.00'	33.68'	N36°40'38"W	31.19'
C131	73°44'23"	25.00'	32.18'	N51°36'06"E	30.00'
C132	73°44'22"	25.00'	32.18'	N22°08'17"W	30.00'
C133	80°49'16"	25.00'	35.26'	N48°03'40"E	32.41'
C134	67°40'37"	25.00'	29.53'	S26°11'17"E	27.84'
C135	73°44'24"	25.00'	32.18'	S44°31'13"W	30.00'
C136	71°25'36"	25.00'	31.17'	S28°03'47"E	29.19'
C137	73°44'23"	25.00'	32.18'	S45°28'47"E	30.00'
C138	74°50'08"	25.02'	32.68'	N61°20'32"E	30.40'
C139	73°44'23"	25.00'	32.18'	N45°28'47"W	30.00'
C140	73°44'23"	25.00'	32.18'	N00°46'50"E	30.00'
C141	73°43'01"	25.00'	32.17'	N45°28'06"W	29.99'
C143	73°44'23"	25.00'	32.18'	N45°28'47"W	30.00'
C144	73°44'23"	25.00'	32.18'	S60°46'50"W	30.00'
C145	73°44'23"	25.00'	32.18'	S02°12'29"W	30.00'
C146	73°44'23"	25.00'	32.18'	S75°56'53"W	30.00'
C147	77°02'58"	25.00'	33.82'	S12°23'50"E	31.14'

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A RESUBDIVISION OF LOT 2, BLOCK 2, NORTH PARK FILING NO. 1 REPLAT B AND TRACT A, NORTH PARK SUBDIVISION FILING NO. 1 REPLAT D AND LOT 1, BLOCK 1, ANTHEM FILING NO. 5, REPLAT A LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF BROOMFIELD, STATE OF COLORADO.
 SHEET 3 OF 12

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 Page: 3 of 12 Rec. Fee \$0.00 Doc Fee \$
 City & County of Broomfield
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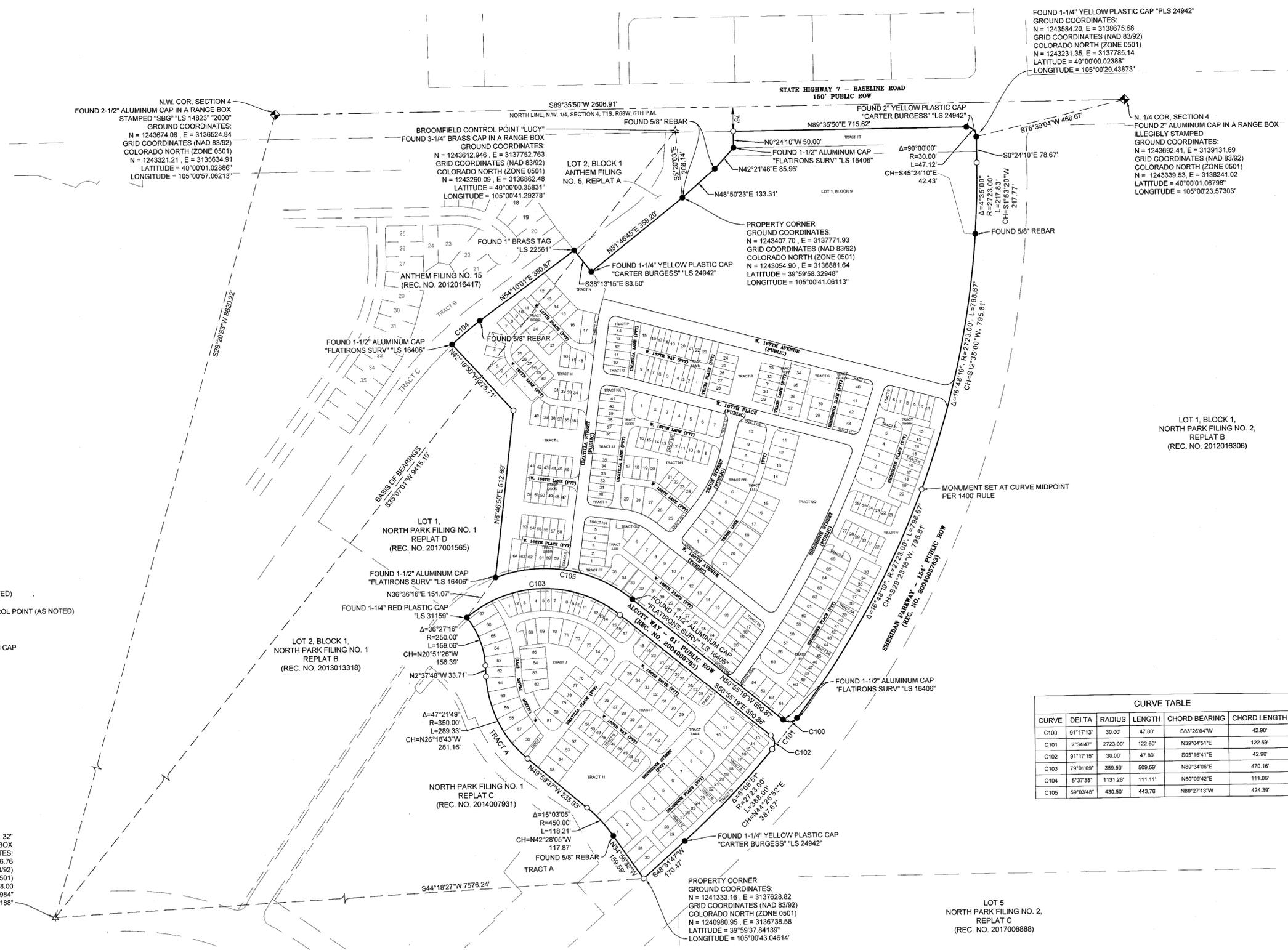


LEGEND

- ◆ FOUND ALIQUOT MONUMENT (AS NOTED)
- ◆ FOUND BROOMFIELD COUNTY CONTROL POINT (AS NOTED)
- FOUND MONUMENT (AS NOTED)
- SET 5/8" REBAR AND 1-1/2" ALUMINUM CAP STAMPED "MATRIX" PLS 34977"
- - - TIE LINE
- SECTION LINE
- PLAT BOUNDARY LINE
- - - ADJACENT BOUNDARY LINE

BROOMFIELD CONTROL POINT "GPS NO. 32"
 FOUND 3-1/4" BRASS CAP IN A RANGE BOX
 GROUND COORDINATES:
 N = 1235911.59, E = 3132336.76
 GRID COORDINATES (NAD 83/92)
 COLORADO NORTH (ZONE 0501)
 N = 1235560.92, E = 3131448.00
 LATITUDE = 39°58'44.55984"
 LONGITUDE = 105°01'51.39188"

PREPARED BY:
Matrix DESIGN GROUP
 1601 Blake Street, Suite 200
 Denver, CO 80202
 Phone 303-572-0000
 Fax 303-572-0002



FOUND 1-1/4" YELLOW PLASTIC CAP "PLS 24942"
 GROUND COORDINATES:
 N = 1243584.20, E = 3138675.68
 GRID COORDINATES (NAD 83/92)
 COLORADO NORTH (ZONE 0501)
 N = 1243231.35, E = 3137785.14
 LATITUDE = 40°00'00.02388"
 LONGITUDE = 105°00'29.43873"

N. 1/4 COR, SECTION 4
 FOUND 2" ALUMINUM CAP IN A RANGE BOX
 ILLEGIBLY STAMPED:
 GROUND COORDINATES:
 N = 1243692.41, E = 3139131.89
 GRID COORDINATES (NAD 83/92)
 COLORADO NORTH (ZONE 0501)
 N = 1243339.53, E = 3138241.02
 LATITUDE = 40°00'01.06798"
 LONGITUDE = 105°00'23.57303"

PROPERTY CORNER
 GROUND COORDINATES:
 N = 1243407.70, E = 3137771.93
 GRID COORDINATES (NAD 83/92)
 COLORADO NORTH (ZONE 0501)
 N = 1243054.90, E = 3136881.64
 LATITUDE = 39°59'58.32948"
 LONGITUDE = 105°00'41.06113"

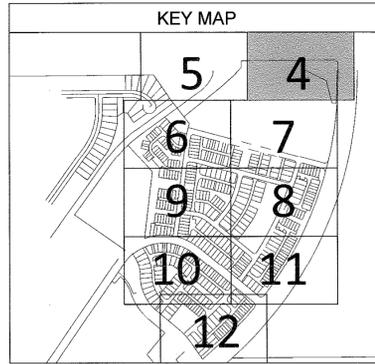
LOT 1, BLOCK 1,
 NORTH PARK FILING NO. 2,
 REPLAT B
 (REC. NO. 2012016306)

CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD LENGTH
C100	91°17'13"	30.00'	47.80'	S83°28'04"W	42.90'
C101	2°34'47"	2723.00'	122.60'	N39°04'51"E	122.59'
C102	91°17'15"	30.00'	47.80'	S05°16'41"E	42.90'
C103	79°01'09"	369.50'	509.59'	N89°34'06"E	470.16'
C104	5°37'38"	1131.28'	111.11'	N50°09'42"E	111.05'
C105	59°03'48"	430.50'	443.78'	N80°27'13"W	424.39'

LOT 5
 NORTH PARK FILING NO. 2,
 REPLAT C
 (REC. NO. 2017006888)

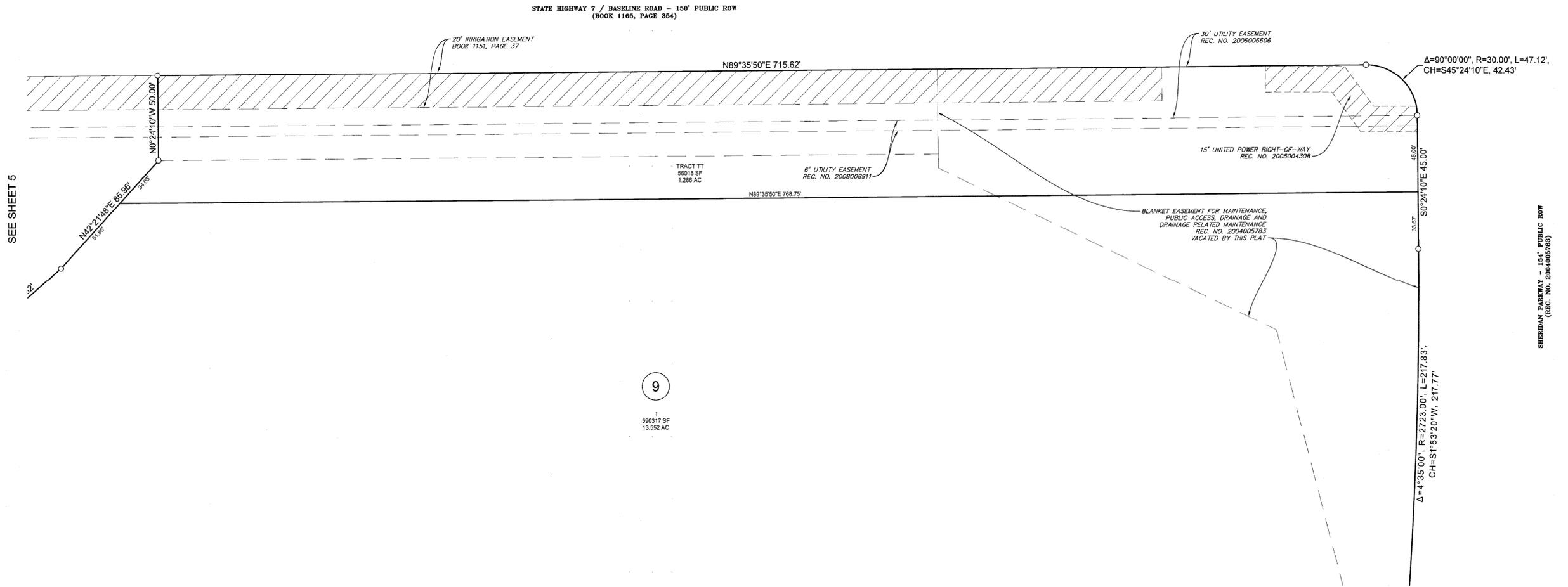
NORTH PARK FILING NO. 6 FINAL PLAT

A RESUBDIVISION OF LOT 2, BLOCK 2, NORTH PARK FILING NO. 1 REPLAT B AND TRACT A, NORTH PARK SUBDIVISION FILING NO. 1 REPLAT D AND LOT 1, BLOCK 1, ANTHEM FILING NO. 5, REPLAT A LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF BROOMFIELD, STATE OF COLORADO.
 SHEET 4 OF 12



LEGEND

- FOUND MONUMENT (AS NOTED)
- SET 5/8" REBAR AND 1-1/2" ALUMINUM CAP STAMPED "MATRIX" PLS 34977
- XX
XXXX SF
X.XXX AC
- ⊗ BLOCK NUMBER
- PLAT BOUNDARY
- - - - RIGHT-OF-WAY LINE
- - - - ROAD CENTERLINE
- LOT LINE
- ADJACENT BOUNDARY LINE
- - - - EXISTING EASEMENT LINE
- - - - PROPOSED EASEMENT LINE
- - - - RIGHT-OF-WAY SETBACK LINE
- - - - WELL SITE EASEMENT



9

56018 SF
 1.286 AC

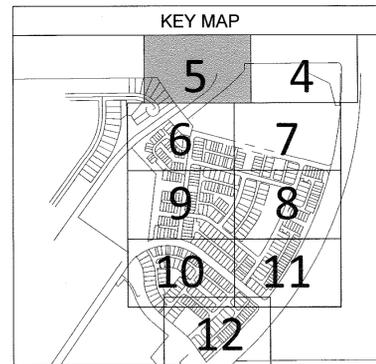
SEE SHEET 7

SACD PRODUCTS • NEW YORK, MINNESOTA
 RECORDED BY PART NUMBER 6503
 POSITION LINE OF PLAT OR FILE LINE
 SACD PRODUCTS • NEW YORK, MINNESOTA
 RECORDED BY PART NUMBER 6503
 POSITION LINE OF PLAT OR FILE LINE
 SACD PRODUCTS • NEW YORK, MINNESOTA
 RECORDED BY PART NUMBER 6503
 POSITION LINE OF PLAT OR FILE LINE

NORTH PARK FILING NO. 6 FINAL PLAT

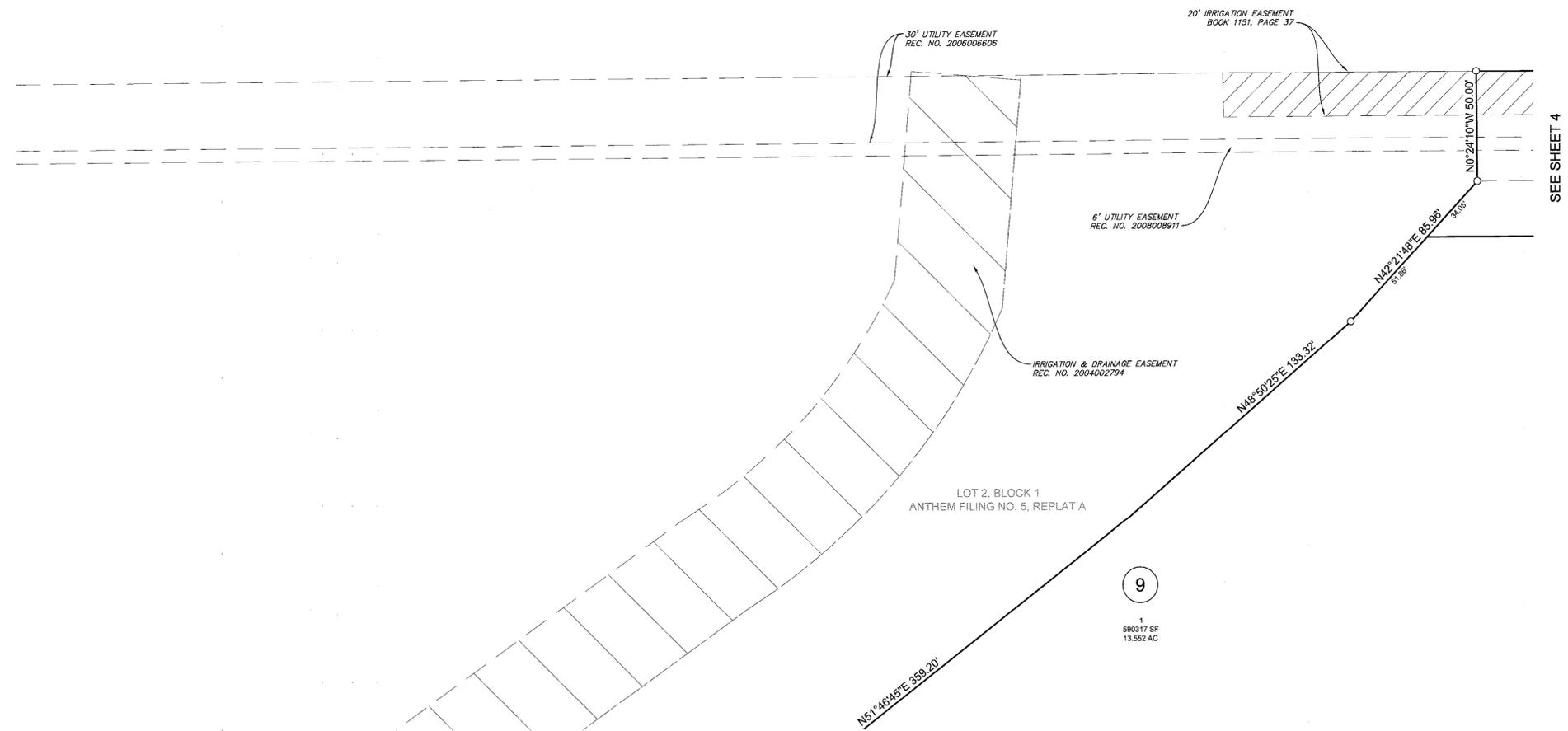
A RESUBDIVISION OF LOT 2, BLOCK 2, NORTH PARK FILING NO. 1 REPLAT B AND TRACT A, NORTH PARK SUBDIVISION FILING NO. 1 REPLAT D AND LOT 1, BLOCK 1, ANTHEM FILING NO. 5, REPLAT A LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF BROOMFIELD, STATE OF COLORADO.
SHEET 5 OF 12

2019001878 PL 02/28/2019 09:32 AM
Page: 9 of 12 Rec Fee \$0.00 Doc Fee \$
City & County of Broomfield



LEGEND

- FOUND MONUMENT (AS NOTED)
- SET 5/8" REBAR AND 1-1/2" ALUMINUM CAP STAMPED "MATRIX" "PLS 34977"
- XX
XXXX SF
X.XXX AC LOT / TRACT NAME AND AREA
- (X) BLOCK NUMBER
- PLAT BOUNDARY
- - - RIGHT-OF-WAY LINE
- - - ROAD CENTERLINE
- LOT LINE
- - - ADJACENT BOUNDARY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - RIGHT-OF-WAY SETBACK LINE
- - - WELL SITE EASEMENT



SEE SHEET 4

SEE SHEET 6

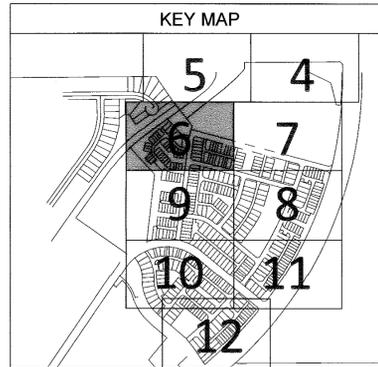
PREPARED BY:
Matrix
DESIGN GROUP
AN EMPLOYEE-OWNED COMPANY

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Broomfield, CO 80022
Phone 303-472-6200
Fax 303-472-6202

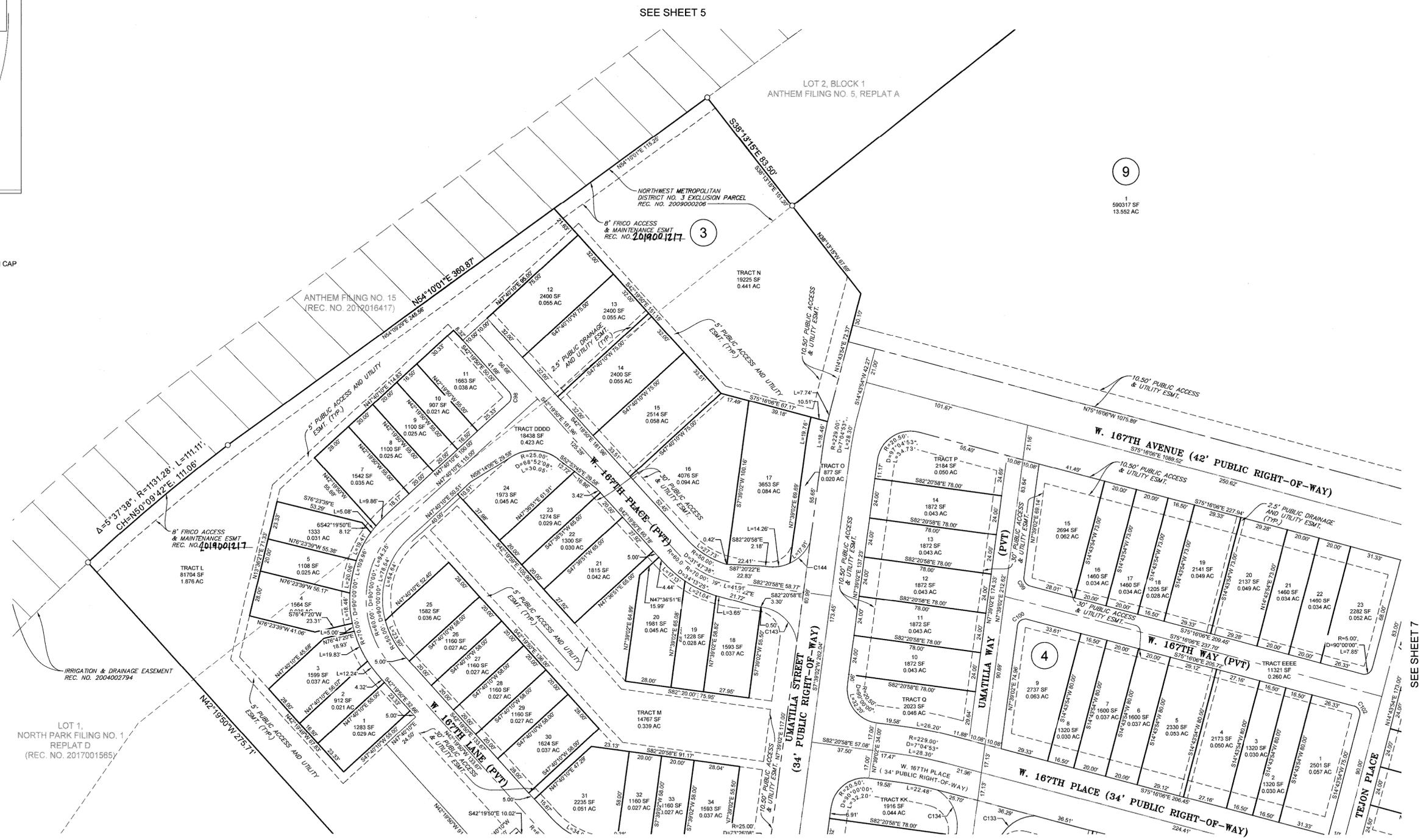
NORTH PARK FILING NO. 6 FINAL PLAT

A RESUBDIVISION OF LOT 2, BLOCK 2, NORTH PARK FILING NO. 1 REPLAT B AND TRACT A, NORTH PARK SUBDIVISION FILING NO. 1 REPLAT D AND LOT 1, BLOCK 1, ANTHEM FILING NO. 5, REPLAT A LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF BROOMFIELD, STATE OF COLORADO.
SHEET 6 OF 12

2019001878 PL 02/28/2019 09:32 AM
Page: 6 of 12 Rec Fee \$9.00 Doc Fee \$
City & County of Broomfield



- LEGEND**
- FOUND MONUMENT (AS NOTED)
 - SET 5/8" REBAR AND 1-1/2" ALUMINUM CAP STAMPED "MATRIX" PLS 34977"
 - XX XXXX SF
X.XXX AC LOT / TRACT NAME AND AREA
 - (X) BLOCK NUMBER
 - PLAT BOUNDARY
 - - - RIGHT-OF-WAY LINE
 - - - ROAD CENTERLINE
 - LOT LINE
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 - - - EXISTING EASEMENT LINE
 - - - PROPOSED EASEMENT LINE
 - - - RIGHT-OF-WAY SETBACK LINE
 - - - WELL SITE EASEMENT



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Fax 303-572-4002

SEE SHEET 9

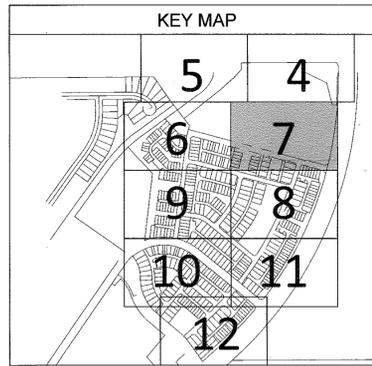
SEE SHEET 7

SAVED PRODUCTS • NEW HOLE, MINNESOTA
REORDER BY PART NUMBER 1833
REORDER BY PART NUMBER 1833
REORDER BY PART NUMBER 1833

NORTH PARK FILING NO. 6 FINAL PLAT

A RESUBDIVISION OF LOT 2, BLOCK 2, NORTH PARK FILING NO. 1 REPLAT B AND TRACT A, NORTH PARK SUBDIVISION FILING NO. 1 REPLAT D AND LOT 1, BLOCK 1, ANTHEM FILING NO. 5, REPLAT A LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF BROOMFIELD, STATE OF COLORADO.
 SHEET 7 OF 12

SEE SHEET 4



LEGEND

- FOUND MONUMENT (AS NOTED)
- SET 5/8" REBAR AND 1-1/2" ALUMINUM CAP STAMPED "MATRIX" "PLS 34977"
- XX
XXXX SF
XXXX AC
LOT / TRACT NAME AND AREA
- ⊗ BLOCK NUMBER
- PLAT BOUNDARY
- - - RIGHT-OF-WAY LINE
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- - - LOT LINE
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- - - EXISTING EASEMENT LINE
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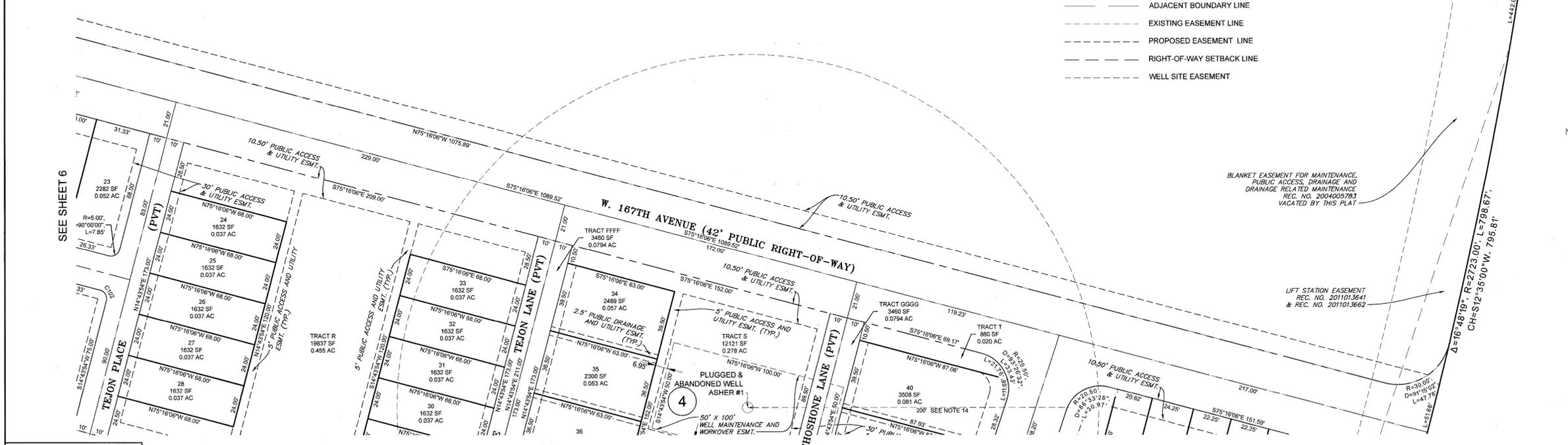
BLANKET EASEMENT FOR MAINTENANCE
 PUBLIC ACCESS, DRAINAGE AND
 DRAINAGE RELATED MAINTENANCE
 REC. NO. 2004005783
 TO BE VACATED BY THIS PLAT

SHERIDAN PARKWAY - 154' PUBLIC ROW
 (REC. NO. 2004005783)

LOT 1, BLOCK 1,
 NORTH PARK FILING NO. 1
 REPLAT B
 (REC. NO. 2012013606)

BLANKET EASEMENT FOR MAINTENANCE,
 PUBLIC ACCESS, DRAINAGE AND
 DRAINAGE RELATED MAINTENANCE,
 REC. NO. 2004005783
 VACATED BY THIS PLAT

LIFT STATION EASEMENT
 REC. NO. 2011013641
 & REC. NO. 2011013662



SEE SHEET 6

SEE SHEET 8

PREPARED BY:
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 Denver, CO 80202
 Phone: 303-572-6000
 Fax: 303-572-0202

CITY & COUNTY OF BROOMFIELD
 SACD PRODUCTS • NEWLY RECORDED
 RECORDED BY PART NUMBER 0003
 POSITION LINE OF PRINT ON THIS LINE
 SACD PRODUCTS • NEWLY RECORDED
 RECORDED BY PART NUMBER 0003
 POSITION LINE OF PRINT ON THIS LINE
 SACD PRODUCTS • NEWLY RECORDED
 RECORDED BY PART NUMBER 0003
 POSITION LINE OF PRINT ON THIS LINE

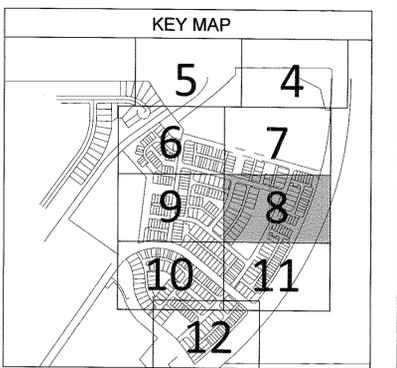
NORTH PARK FILING NO. 6 FINAL PLAT

A RESUBDIVISION OF LOT 2, BLOCK 2, NORTH PARK FILING NO. 1 REPLAT B AND TRACT A, NORTH PARK SUBDIVISION FILING NO. 1 REPLAT D AND LOT 1, BLOCK 1, ANTHEM FILING NO. 5, REPLAT A LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF BROOMFIELD, STATE OF COLORADO.
SHEET 8 OF 12



LEGEND

- FOUND MONUMENT (AS NOTED)
- SET 5/8" REBAR AND 1-1/2" ALUMINUM CAP STAMPED "MATRIX" "PLS 34977"
- XX XXXX SF XXXX AC LOT / TRACT NAME AND AREA
- (X) BLOCK NUMBER
- PLAT BOUNDARY
- - - RIGHT-OF-WAY LINE
- ROAD CENTERLINE
- LOT LINE
- - - ADJACENT BOUNDARY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
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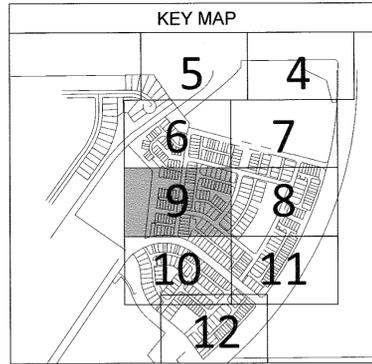


PREPARED BY:
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Denver, CO 80202
Phone 303-572-8000
Fax 303-572-8202

SEE SHEET 11

NORTH PARK FILING NO. 6 FINAL PLAT

A RESUBDIVISION OF LOT 2, BLOCK 2, NORTH PARK FILING NO. 1 REPLAT B AND TRACT A, NORTH PARK SUBDIVISION FILING NO. 1 REPLAT D AND LOT 1, BLOCK 1, ANTHEM FILING NO. 5, REPLAT A LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF BROOMFIELD, STATE OF COLORADO.
 SHEET 9 OF 12



LEGEND

- FOUND MONUMENT (AS NOTED)
- SET 5/8" REBAR AND 1-1/2" ALUMINUM CAP STAMPED "MATRIX" PLS 34977"
- XX LOT / TRACT NAME AND AREA
- XXX SF
- XXXX AC
- (X) BLOCK NUMBER
- PLAT BOUNDARY
- - - RIGHT-OF-WAY LINE
- ROAD CENTERLINE
- LOT LINE
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- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
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LOT 1,
 NORTH PARK FILING NO. 1
 REPLAT D
 (REC. NO. 2017001565)



SEE SHEET 6

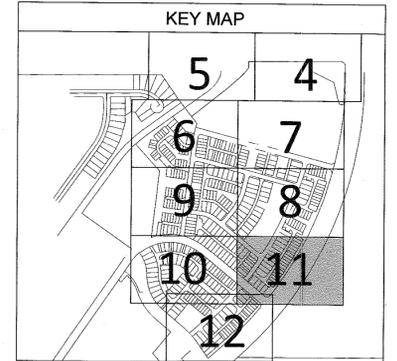
SEE SHEET 10

SEE SHEET 8

NORTH PARK FILING NO. 6 FINAL PLAT

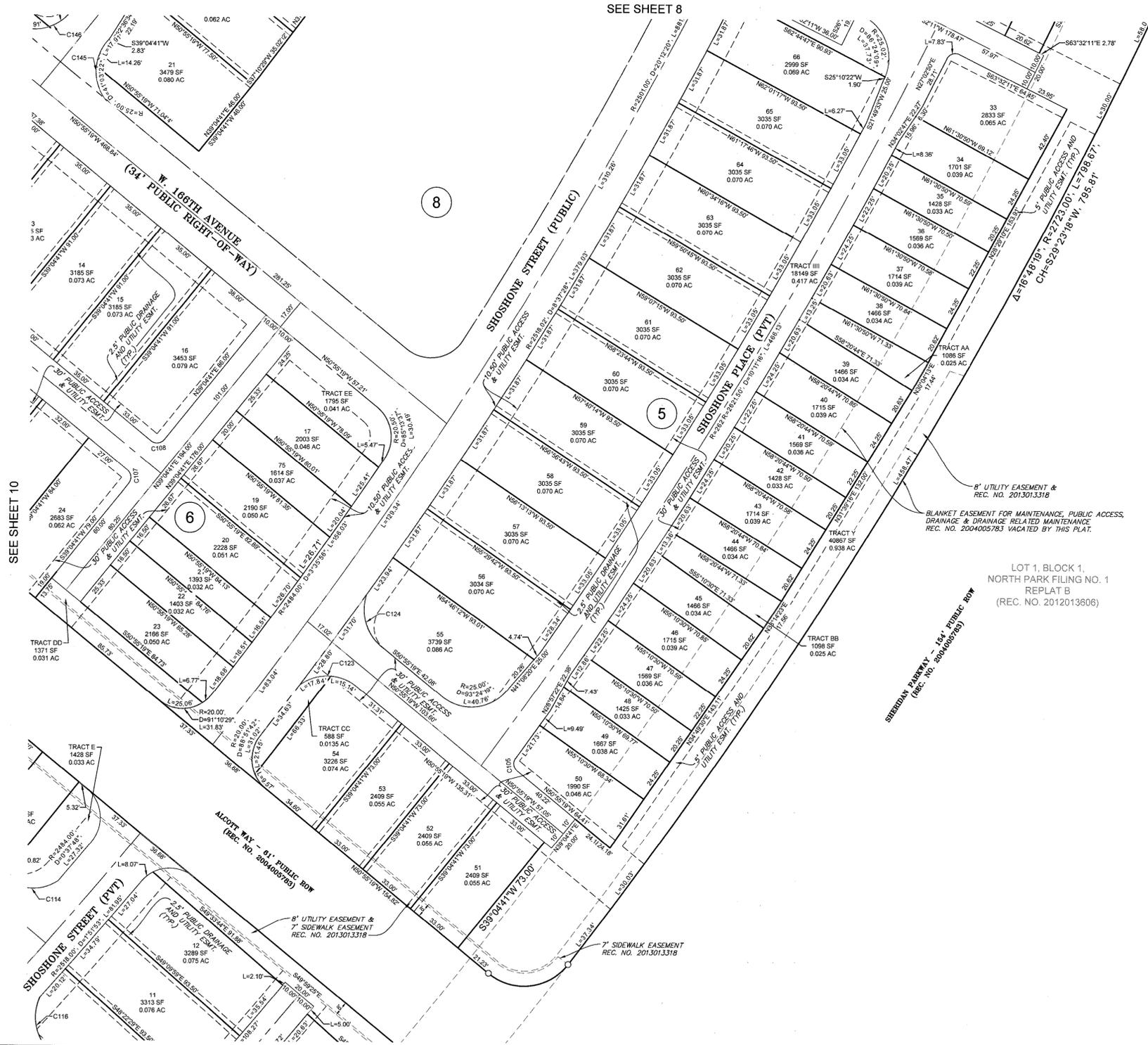
A RESUBDIVISION OF LOT 2, BLOCK 2, NORTH PARK FILING NO. 1 REPLAT B AND TRACT A, NORTH PARK SUBDIVISION FILING NO. 1 REPLAT D AND LOT 1, BLOCK 1, ANTHEM FILING NO. 5, REPLAT A LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY AND COUNTY OF BROOMFIELD, STATE OF COLORADO.
SHEET 11 OF 12

2019001878 PL 02/28/2019 09:32 AM
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City & County of Broomfield



LEGEND

- FOUND MONUMENT (AS NOTED)
- SET 5/8" REBAR AND 1-1/2" ALUMINUM CAP STAMPED "MATRIX" PLS 34977"
- XX LOT / TRACT NAME AND AREA
- X.XXX SF
- X.XXX AC
- ⊗ BLOCK NUMBER
- PLAT BOUNDARY
- - - RIGHT-OF-WAY LINE
- ROAD CENTERLINE
- LOT LINE
- ADJACENT BOUNDARY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - RIGHT-OF-WAY SETBACK LINE
- - - WELL SITE EASEMENT



PREPARED BY:
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Fax 303-572-0202

SEE SHEET 12

SEE SHEET 10

SEE SHEET 8

LOT 1, BLOCK 1,
NORTH PARK FILING NO. 1
REPLAT B
(REC. NO. 2012013806)

SHOSHONE PARKWAY - 164' PUBLIC ROW
(REC. NO. 2004005783)

BLANKET EASEMENT FOR MAINTENANCE, PUBLIC ACCESS,
DRAINAGE & DRAINAGE RELATED MAINTENANCE
REC. NO. 2004005783 VAGATED BY THIS PLAT.

8' UTILITY EASEMENT &
REC. NO. 2013013318

8' UTILITY EASEMENT &
7' SIDEWALK EASEMENT
REC. NO. 2013013318

7' SIDEWALK EASEMENT
REC. NO. 2013013318

SEARCHED PRODUCTS - NEW HOPE, MINNESOTA
RECORDED BY PART NUMBER BECS
POSITION EDGE OF PRINT ON THE LINE

