

WESTLAKE VILLAGE FILING NO. 17 FINAL PLAT

A portion of the SE 1/4 of Section 29,
Township 1 South, Range 68 West of the 6th P.M.
City and County of Broomfield, State of Colorado

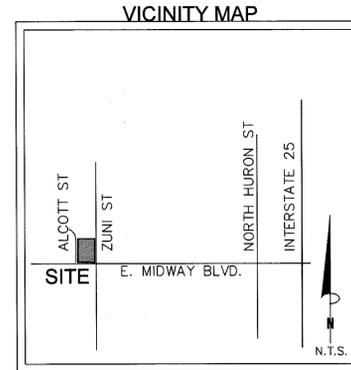
2018011180 PL 10/08/2018 11:01 AM
Page: 1 of 2 Rec Fee \$0.00 Doc Fee \$
City and County of Broomfield



No.	Description	By	Date
5	Addressed plat comments	NSB	8/01/2018
4	Addressed plat comments	NSB	6/26/2018
3	Addressed plat comments	NSB	6/19/2018
2	Addressed plat comments	NSB	5/30/2018
6	Addressed plat comments	NSB	8/21/2018

Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

WESTLAKE VILLAGE FILING NO. 17
A PORTION OF THE SE 1/4 OF SECTION 29,
TOWNSHIP 1 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
CITY AND COUNTY OF BROOMFIELD, STATE OF COLORADO
Project 180108
Drawn By: NSB/SLM
Checked By: SLM
Date: 3/16/2018
Sheet 1 of 2



SHEET INDEX	
SHEET 1	COVER SHEET
SHEET 2	SUBDIVISION MAP

LEGAL DESCRIPTION:

BY THESE PRESENTS, the undersigned, being the owner of:
A part of the Southeast quarter (SE1/4) of Section 29, Township 1 South, Range 68 West of the 6th Principal Meridian, City and County of Broomfield, State of Colorado, being more particularly described as follows:
COMMENCING at the Southeast corner of said Section 29; thence North 89°13'10" West, along the South line of said Section 29, a distance of 300 feet; thence North 00°15'50" West, a distance of 50 feet, parallel with the East line of said Section 29, to the POINT OF BEGINNING, said point being on the Northerly Right-Of-Way line of West 128th Avenue; thence continuing North 00°15'50" West, parallel with the East line of said Section 29 and along the East line of Front Range Mobile Community (P.U.D.), as recorded October 30, 1973 at Reception No. A020705 in the Official Records of Adams County, State of Colorado, a distance of 300.00 feet; thence South 89°13'10" East, parallel with the South line of said Section 29 and along the South line of said Front Range Mobile Community, a distance of 250.00 feet, to a point on the Westerly Right-Of-Way line of Zuni Street; thence South 00°15'50" East, along said Westerly Right-Of-Way line of Zuni Street, and parallel to and 50.00 feet West of the East line of said Section 29, a distance of 300.00 feet; thence North 89°13'10" West, along the Northerly Right-Of-Way line of West 128th Avenue and parallel to and 50 feet North of the South line of said Section 29, a distance of 250.00 feet, to the POINT OF BEGINNING, City and County of Broomfield, State of Colorado.

Containing 74,967 square feet or 1.721 acres, more or less.

Has laid out, platted, and subdivided the above described land, under the name and style of WESTLAKE VILLAGE FILING NO. 17; and by these presents dedicates, grants, and conveys in fee simple to the City and County of Broomfield for public use of streets, rights-of-way, and easements, as shown or noted on the plat for public and municipal uses and for use by franchisees of the City and County of Broomfield and for the use by public and private utilities.

OWNER CERTIFICATE:

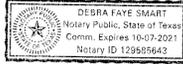
CBH Properties Broomfield, LLC, a Colorado limited liability company,
17725 Katy Freeway, Ste 200
Houston, TX 77094
(281) 675-6120

By: Jacques Craig
Jacques Craig, Vice President

NOTARY CERTIFICATE:

STATE OF TEXAS }
COUNTY OF HARRIS } SS
The foregoing instrument was acknowledged before me on this 22nd day of August, 2018
by Jacques Craig, Vice President, of CBH Properties Broomfield, LLC, a Colorado limited liability company.

Witness my hand official seal.
Debra Faye Smart
Notary Public
My commission expires 10-7-2021



DEVELOPER CERTIFICATE:

Christian Brothers Automotive Corporation, a Texas corporation,
17725 Katy Fwy, Ste 200
Houston, TX 77094-1389
(281) 675-6178

By: James Harris
James Harris, Vice President

NOTARY CERTIFICATE:

STATE OF TEXAS }
COUNTY OF HARRIS } SS
The foregoing instrument was acknowledged before me on this 22nd day of August, 2018
by James Harris, Vice President, of Christian Brothers Automotive Corporation, a Texas corporation.

Witness my hand official seal.
Debra Faye Smart
Notary Public
My commission expires 10-7-2021



ATTORNEY'S CERTIFICATE:

I, KRISTIN N. SCHELWART an attorney licensed to practice law in the State of Colorado, do hereby certify that the person(s) dedicating the streets, easements, parcels of land, and rights-of-way to the City and County of Broomfield owns them in fee simple free and clear of all liens, except as identified herein or as otherwise identified on this plat, and that there are no encumbrances, except as identified herein or as otherwise identified on this plat, which prevent the City from utilizing the dedicated property for such purposes as is identified on this plat, and the City may rely upon this representation in accepting such dedications.

Kristin N. Schelwart License No. 34471 Date 8/24/18

NOTES:

- This survey does not constitute a title search by Clark Land Surveying, Inc. to determine ownership, easements or rights of way of record. For all information regarding said matters of record, Clark Land Surveying, Inc. relied upon a Commitment for Title Insurance, issued by Old Republic National Title Insurance Company, Commitment No. ABN70542074-5, dated July 9, 2018 at 5:00 AM.
- Basis of bearings is a State Plane grid bearing, measured between Broomfield GPS No. 2, monumented by a 3 1/4" brass cap, flush with grade, and NGS V411, monumented by a 5" logo cap on stainless steel rod, flush with grade, and measured to bear N30°53'36"W (grid bearing), a distance of 5196.26 feet (ground distance). The applied combined scale factor of 1.000274083 was applied to derive true ground (modified State Plane) distances. To reduce the true ground distances to State Plane the reciprocal combined scale factor of 0.999725992 should be applied.
- Any underground utilities shown have been located from field survey information, existing drawings and/or utility locate markings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. This surveyor has not physically located the underground utilities.
- Easements and other record documents shown or noted on this survey were examined as to location and purpose and were not examined as to restrictions, exclusions, conditions, obligations, terms, or as to the right to grant the same.
- The lineal units used in this drawing are U.S. Survey Feet.
- Field work for this survey was completed on March 8, 2018.
- The Colorado Coordinate System, hereon shown, is defined as 1st order, Class A, 1:150,000, as described in the "Geometric Geodetic Accuracy Standards and Specifications for using GPS relative positioning techniques and/or Standards and Specifications for Geodetic Control Networks" by the Federal Geodetic Control Committee.
- This property was previously a part of the Westlake Village Filing No. 9 plat, which was approved but not recorded.
- The Colorado Oil and Gas Commission Online Records do not disclose, as of the date of recordation of this planned unit development plan, any plugged or abandoned oil and gas wells, production sites, or any former oil and gas production sites located within the boundaries of the SDP or within 200 feet of such boundaries, pursuant to BMC Section 17-38-160F.
- Any facts, rights, interests or claims which may exist or arise by reason of the following facts shown on ALTA/NSPA Land Title Survey certified January 11, 2018 prepared by Clark Land Surveying, Inc., Job #170407 said document stored as our ESI 35051306
 - Fence is not coincident to property line in the Westerly property line;
 - Two sheds landscaping and brick paving extend on subject property from the North;
 - Concrete on water and utility easement in the Easterly portion of subject property.
 -LOCATED ON SUBJECT PARCEL, IS BLANKET IN NATURE.

SURVEYOR'S CERTIFICATE:

I, Stewart L. Mapes, Jr., a licensed professional land surveyor in the State of Colorado, do hereby certify that this plat is accurate, conforms to all applicable Colorado State laws, the requirements set forth in Chapter 16-20 of the Broomfield Municipal Code, and that the survey was performed in accordance with all applicable laws by me or under my direct responsibility, supervision and checking.



Stewart L. Mapes, Jr.
Colorado Professional Land Surveyor No. 38245
For and on behalf of Clark Land Surveying, Inc.

PLANNING AND ZONING COMMISSION CERTIFICATE:

This final plat is recommended for approval by the City and County of Broomfield Planning and Zoning Commission on this 9 day of July, 2018.

Vice Chairman: Susan Berkman
Secretary: Walt

CITY COUNCIL CERTIFICATE:

This final plat is hereby approved by the City Council of the City and County of Broomfield, Colorado, on this 28th day of August, 2018.

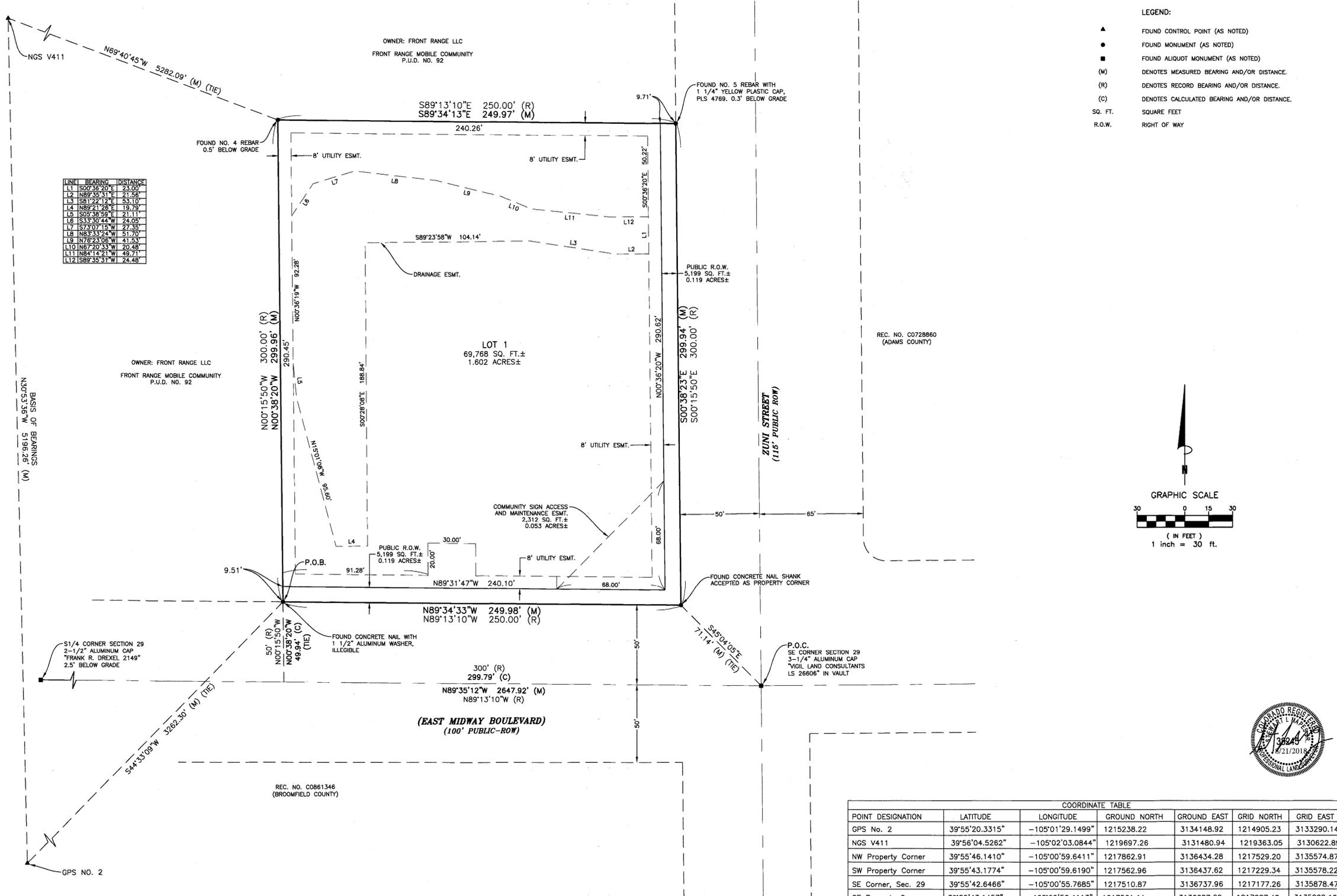
Mayor: [Signature]
City Clerk: [Signature]
SEAL

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LINE	BEARING	DISTANCE
L1	S00°36'20"E	23.00'
L2	N89°33'51"E	21.58'
L3	S81°22'12"E	53.10'
L4	N82°21'26"E	19.79'
L5	S03°38'59"E	21.11'
L6	S33°30'44"W	24.09'
L7	S73°07'15"W	27.35'
L8	N63°33'24"W	51.70'
L9	N76°23'06"W	41.43'
L10	N67°20'53"W	20.48'
L11	N84°14'21"W	49.71'
L12	S89°33'51"W	24.48'

POINT DESIGNATION	LATITUDE	LONGITUDE	GROUND NORTH	GROUND EAST	GRID NORTH	GRID EAST
GPS No. 2	39°55'20.3315"	-105°01'29.1499"	1215238.22	3134148.92	1214905.23	3133290.14
NGS V411	39°56'04.5262"	-105°02'03.0844"	1219697.26	3131480.94	1219363.05	3130622.89
NW Property Corner	39°55'46.1410"	-105°00'59.6411"	1217862.91	3136434.28	1217529.20	3135574.87
SW Property Corner	39°55'43.1774"	-105°00'59.6190"	1217562.96	3136437.62	1217229.34	3135578.22
SE Corner, Sec. 29	39°55'42.6466"	-105°00'55.7685"	1217510.87	3136737.96	1217177.26	3135878.47
SE Property Corner	39°55'43.1457"	-105°00'56.4113"	1217561.11	3136687.60	1217227.49	3135828.12

Coordinates are shown in Colorado North Zone (0501) State Plane (NAD 83/92). The combined scale factor for converting the coordinates from grid to ground is 1.000274083.



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Drawn By: NSB/SLM
Checked By: SLW
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